



New Meters, Allocations & Expansion of Services Committee Agenda

Friday, September 8, 2023 at 9:30 a.m.

202 W. El Roblar Drive, Ojai, CA 93023

Please join my meeting from your computer, tablet or smartphone.

<https://meet.goto.com/553845509>

You can also dial in using your phone.

United States (Toll Free): **1 866 899 4679**

Access Code: **553-845-509**

Right to be heard: Members of the public have a right to address the Board directly on any item of interest to the public that is within the subject matter jurisdiction of the Board, provided that no action shall be taken on any item not appearing on the agenda unless the action is otherwise authorized by subdivision (b) of Section 54954.2.

Please Note: If you have comments on a specific agenda item(s), please fill out a comment card and return it to the Board Secretary. The Board President will call on you for your comments at the appropriate time, either before or during the Board's consideration of that item.

If you require special accommodations for attendance at or participation in this meeting, please notify our office 24 hours in advance at (805) 646-2114

(Govt. Code Section 94594.1 and 94594.2 (a))

A. Call To Order

B. Public Comments

C. Discussion Items:

a. Will-Serve Letter Requests

- i. 1350 S. La Luna – Existing legal lot with no assigned allocation, add 900 sqft dwelling.
- ii. 347 S. Padre Juan – Existing legal lot with combined allocation, split allocation and add new meter for new primary 468 sqft dwelling.

D. Adjourn



1350 S. La Luna Ave

Summary:

The owner of 1350 S. La Luna Ave has one legal lot consisting of 2 parcels (018-0-120-145 & 018-0-200-245). The main parcel 018-0-102-145 is where the primary dwelling and garages exist and has current metered service (2 residential meters). The other parcel 018-0-200-245 has no buildings on it, except a shed. There is an existing additional meter (ag meter) at the front parcel, that is inactive. Staff did extensive research into billing and meter archives to find the history of that parcel and inactive meter. It is inconclusive what that inactive (ag) meter served historically. The property owner is requesting that inactive (ag) meter be re-activated to serve the second parcel, and to build a 900 sqft single family residence. Eagle Aerial data for the unserved parcel was captured but not included in the original allocation calculations.

Allocation Per Parcel (Eagle Aerial Data):

018-0-200-24

Total Parcel (Sqft): 13218

Irrigable Area (Sqft): 12488

Fixed Stage 1 Allocation: 0

Variable Stage 1 Allocation: 200 HCF/yr

Recommendation:

It is the recommendation of staff that the variable allocation of 200 HCF/yr be assigned to the inactive meter based on the Eagle Aerial parcel data, to serve parcel 018-0-200-245. The parcel has no fixed allocation and 200 HCF/yr of variable. The proposed building would require a primary dwelling allocation of 120 HCF/yr. Staff recommends the following proposed allocations.



Proposed Allocation:

018-0-200-245

Fixed = 120 HCF/yr

Allocation Needed for Primary Dwelling = 140 HCF/yr

Variable Stage 1 Allocation: 200 HCF/yr

Calculate Adjusted Allocation: $200 - 140 = 60$ HCF

New Adjusted Variable Stage 1 Allocation= 60 HCF/yr



Will-Serve/Proof of Service/Meter Request Form

A "Will-Serve" letter may be issued upon the District's completion of an analysis determining that all conditions of approval are met.

Required Attachments:

1. Drawing/sketch of project (with dimensions)
2. Tax Assessors parcel map that includes the subject property.
3. Subdivision map covering the location of the project.*
4. Documentation of existing permitted dwellings on the property.

* Clearly indicate all APNs and legal lots involved in the project. Ensure any markups to county documents do not obscure the underlying information.

Parcel Owner Information:

Account Number:	<input type="text" value="0"/>
Name:	<input type="text"/>
Mailing Address:	<input type="text" value="1350 S La Luna Ave Ojai, CA 93023"/>
Phone Number:	<input type="text"/>
Email Address:	<input type="text"/>

Applicant Information:

Name:	<input type="text"/>
Company:	<input type="text"/>
Mailing Address:	<input type="text" value="1350 S La Luna Ave Ojai, CA 93023"/>
Phone Number:	<input type="text"/>
Email Address:	<input type="text" value="com"/>

Project Information:

New Meter Requested:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Assessor's Parcel #(s):	<input type="text" value="018-0-200-245"/>
Service Address:	<input type="text" value="1350 S La Luna Ave"/>
City, State, Zip code:	<input type="text" value="Ojai, CA 93023"/>
Planning Dept Case #:	<input type="text"/>
# of Existing Dwellings:	<input type="text" value="2 on 018-0-102-145"/>
Date Dwellings Permitted:	<input type="text" value="✓"/>



Will-Serve/Proof of Service/Meter Request Form

Type of Construction:



New Construction



Tenant Improvement



ADU



Other

Type of Use:



Single Family Res



Multi-Family Res (# of dwellings _____)



Other

Project Dimensions (sqft):

900

Detailed Project Description:

I own one legal lot (Lot 56) consisting of 2 parcel numbers: 018-0-102-145 and 018-0-200-245 Please see attached diagram and deed

The main parcel (018-0-102-145) is where my home and garages already exist. There is current meter service to these.

The other parcel (018-0-200-245) has no buildings on it, except a shed. There is an existing additional meter in front of my house (meter number 83062731) that is inactive. I would like to use this meter for a water line to this second parcel with the intent of building a small (ADU-sized) single-family residence on it.

Please allow a minimum of 60 days to evaluate and process Will-Serve letter and new meter requests. The time frame will depend on receipt of satisfactory information from the applicant and schedule of pertinent District Committees and Board of Directors meetings.



I acknowledge that MOWD will bill a \$100 Administrative Fee for processing this request.

Note: Justin told me this fee would be waived 7-24-23

Applicant Signature

Date

[Redacted Signature]

7/25/23

APN	Parcel Area	F1 Imperv	F2 Pool	F3 IrrgVeg	F4 Irrg TurfLawn	F5 NL	F6A NotIrrg TurfLawn	F6B NotIrrg Misc	F6C NotIrrg Veg	F7 ArtificialTurf	F8 AnimalArena	F10 Agriculture
018-0-200-24	13218	729	0	0	0	0	0	11060	1429	0	0	0
	12488											
	7488											
	Irrigable Area	12488.32										
	5000x15 gal =	75000										
	7488 x 10 gal=	74880										
		149880 gal										
	Variable	200	units/yr									
	Fixed	0	units/yr									
	Total Stage 1	200	units/yr									



Legend

- Streets
- 1:6000
- Parcels
- Benchmarks
 - NAVD88
 - NAVD88 - Not Recovered
 - NAVD88/NGVD29
 - NAVD88/NGVD29 - Not Recovered
 - NGVD29
 - NGVD29 - Not Recovered
 - No Elevation
 - No Elevation - Not Recovered

Recorded at the Request of ePN

RECORDING REQUESTED BY:

OLD REPUBLIC TITLE

AND AFTER RECORDING RETURN TO:

1350 S LA LUNA AVE.
OJAI, CA 93023
File No. 01-20010614-02C

MAIL TAX STATEMENTS TO:

1350 S LA LUNA AVE.
OJAI, CA 93023

APN: 018-0-102-145 AND 018-0-200-245

20200814-00123486-0 1/6
Ventura County Clerk and Recorder
MARK A. LUNN
08/14/2020 08:00:00 AM
1660477 \$134.00 ES

Electronically Recorded in Official Records,
County of Ventura

GRANT DEED

****This conveyance is in dissolution of marriage by one spouse to the other, R&T 11927****


THE UNDERSIGNED GRANTOR(S) DECLARE(S)

DOCUMENTARY TRANSFER TAX is \$ 0 CITY TAX \$ 0

☐ Computes on full value of property conveyed, or

☐ Computed on full value less value of liens and encumbrances remaining at time of sale.

☐ Unincorporated area: City of Ojai


Signature of Declarant or Agent Determining Tax

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

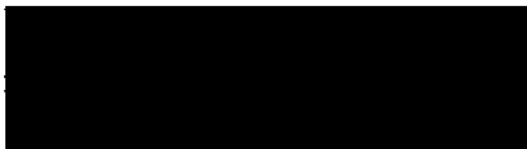
GRANTOR(S): LISA SMITH, AN UNMARRIED WOMAN and NATHANIEL COX, AN UNMARRIED MAN, WHO TOOK TITLE AS WIFE AND HUSBAND AS COMMUNITY PROPERTY WITH RIGHT OF SURVIVORSHIP, hereby GRANT(S) to

LISA SMITH, AN UNMARRIED WOMAN, the following described real property in the City of Ojai, County of VENTURA, State of CALIFORNIA:

See Attached Exhibit A.

Property Address: 1350 S LA LUNA AVE., OJAI, CA 93023

DATED: 6/17/2020



A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA
COUNTY OF Ventura

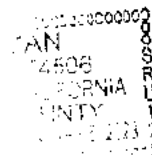
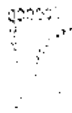
On 6-17-20 before me, T Bohman, a Notary Public, (insert Name of Notary Public and Title), [REDACTED]

[REDACTED], who proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

T Bohman
(SIGNATURE OF NOTARY)



(SEAL)

SEE ATTACHED


No title exam performed by the preparer. Legal description and party's names provided by the party.

DATED: 6-17-20


LISA SMITH

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA
COUNTY OF Ventura

On 6/17/2020 before me, T Bohman, a Notary Public, (insert Name of Notary Public and Title), personally appeared ,

who proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



(SIGNATURE OF NOTARY)

(SEAL)

SEE ATTACHED.

00000000000000000000
T. BOHMAN
2274506
CALIFORNIA
COUNTY
JUN 18 2023
00000000000000000000

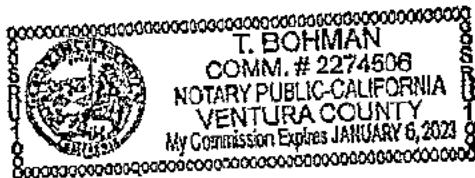
CALIFORNIA ALL-PURPOSE ACKNOWLEDGEMENT

A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }
County of Ventura }

On 6-17-2020, before me, T. Bohman, Notary Public personally appeared [REDACTED] and [REDACTED] who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of State of California that the foregoing paragraph is true and correct.



WITNESS my hand and official seal.

SIGNATURE

T. Bohman

PLACE NOTARY SEAL ABOVE

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of attached document

Title or type of document: _____

Document Date: _____ Number of Pages: _____

Signer(s) Other than Named Above: _____

EXHIBIT A
LEGAL DESCRIPTION

SITUATED IN THE CITY OF OJAI, COUNTY OF VENTURA, STATE OF CALIFORNIA:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THOSE PORTIONS OF LOTS 55 AND 56 OF LOS RANCHITOS, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, ACCORDING TO THE MAP RECORDED IN BOOK 16, PAGE 75 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF SAID LOT 56: THENCE ALONG THE WESTERLY LINE OF SAID LOT 56:

1ST: SOUTH 5 DEGREES 30 MINUTES 00 SECONDS WEST 165 FEET, MORE OR LESS, TO THE NORTHERLY LINE OF THE LAND DESCRIBED IN THE DEED TO CARL W. LANGUIST, JR. ET AL, RECORDED AUGUST 1, 1952 IN BOOK 1081, PAGE 210 OF OFFICIAL RECORDS; THENCE ALONG SAID NORTHERLY LINE:

2ND: SOUTH 84 DEGREES 30 MINUTES 00 SECONDS EAST 264.00 FEET TO THE NORTHEASTERLY CORNER OF SAID LAND: THENCE

3RD: SOUTH 5 DEGREES 30 MINUTES 00 SECONDS WEST 63.00 FEET TO THE SOUTHEASTERLY CORNER OF SAID LAND ALSO BEING THE NORTHEASTERLY CORNER OF THE LAND DESCRIBED IN THE DEED TO PAUL K. LENNON, ET UX., RECORDED JANUARY 31, 1958 IN BOOK 1568, PAGE 348 OF OFFICIAL RECORDS; THENCE

4TH: SOUTH 5 DEGREES 30 MINUTES 00 SECONDS WEST 63.00 FEET TO THE SOUTHEASTERLY CORNER OF SAID LAST MENTIONED LAND AT A POINT IN THE 2ND COURSE RECITED AS "SOUTH 84 DEGREES 30 MINUTES EAST 300 FEET" IN THE DEED TO BERTHA STENE, ET AL, RECORDED SEPTEMBER 20, 1956 IN BOOK 1444, PAGE 580 OF OFFICIAL RECORDS:

THENCE ALONG SAID SECOND COURSE AND PROLONGATION THEREOF;

5TH: SOUTH 84 DEGREES 30 MINUTES EAST 126.62 FEET TO THE INTERSECTION WITH THE SOUTHERLY PROLONGATION OF THE WESTERLY LINE OF THE LAND DESCRIBED IN THE DEED TO HERBERT O. WEAVERLING AND HIS WIFE, RECORDED MARCH 23, 1949 IN BOOK 864, PAGE 506 OF OFFICIAL RECORDS;

THENCE ALONG SAID PROLONGATION AND WESTERLY LINE:

6TH: NORTH 19 DEGREES 24 MINUTES EAST 184.89 TO THE MOST NORTHERLY CORNER OF THE LAND DESCRIBED IN DEED TO RAYMOND J. CAIN, ET UX., RECORDED JUNE 28, 1950 IN BOOK 946, PAGE 374 OF OFFICIAL RECORDS, ALSO BEING THE WESTERLY TERMINUS OF THE 9TH COURSE OF THE LAND DESCRIBED IN DEED TO DOROTHY MULLEN OVERALL RECORDED DECEMBER 7, 1967 IN BOOK 3232, PAGE 517 OF OFFICIAL RECORDS, SAID COURSE BEING RECITED AS "SOUTH 61 DEGREES 11 MINUTES 00 SECONDS EAST TO THE INTERSECTION WITH THE EASTERLY LINE OF SAID LOT 56"; THENCE

7TH: NORTH 17 DEGREES 33 MINUTES 30 SECONDS EAST 114.33 FEET TO A POINT IN THE NORTH LINE OF SAID LOT 56, DISTANT ALONG SAID NORTH LINE NORTH 84 DEGREES 30 MINUTES WEST 56.96 FEET FROM THE NORTHEAST CORNER OF SAID LOT; THENCE ALONG SAID NORTH LINE:

8TH: NORTH 84 DEGREES 30 MINUTES WEST 459.07 FEET TO THE POINT OF BEGINNING.

SAID LAND IS ALSO SHOWN AS PARCEL 1 OF LOT LINE ADJUSTMENT NO. LLA-324 RECORDED DECEMBER 8, 1987 AS INSTRUMENT NO. 87-195824 OF OFFICIAL RECORDS.

EXCEPT THEREFROM THE OIL, GAS, MINERALS, AND OTHER HYDROCARBON SUBSTANCES LYING BELOW THE SURFACE OF SAID LAND, AS PROVIDED IN DEEDS OF RECORD.

APN: 018-0-102-145 AND 018-0-200-245

BEING THE SAME PROPERTY CONVEYED BY GRANT DEED

GRANTOR: [REDACTED] WIFE AND HUSBAND AS COMMUNITY PROPERTY

GRANTEE: [REDACTED] WIFE AND HUSBAND AS COMMUNITY PROPERTY WITH RIGHT OF SURVIVORSHIP

DATED: 04/06/2010

RECORDED: 05/27/2010

DOC#/BOOK-PAGE: 20100527-00078657-0

PROPERTY COMMONLY KNOWN AS: 1350 S LA LUNA AVE., OJAI, CA 93023



347 S. Padre Juan

Summary:

The owners of 347 S. Padre Juan have 2 contiguous parcels (017-0-180-31 & 017-0-191-11), served by one meter. The current allocation was calculated based on the combined area. The request is to build a dwelling on the smaller lot and add a new meter. Staff reviewed the original Eagle Aerial data for both parcels and calculated the baseline allocation for each parcel.

Current Allocation (combined parcels):

Fixed Stage 1 Allocation: 120 HCF/yr

Variable Stage 1 Allocation: 245 HCF/yr

Allocation Per Parcel (Eagle Aerial Data):

017-0-180-31

Total Parcel (Sqft): 19429

Irrigable Area (Sqft): 14177

Fixed Stage 1 Allocation: 120 HCF/yr

Variable Stage 1 Allocation: 223 HCF/yr

017-0-191-11

Total Parcel (Sqft): 6053

Irrigable Area (Sqft): 3641

Fixed Stage 1 Allocation: 0 HCF/yr

Variable Stage 1 Allocation: 73 HCF/yr



Recommendation:

It is the recommendation of staff that the allocation be split according to the Eagle Aerial parcel data. Parcel 017-0-191-11 has no fixed allocation and only 73 HCF/yr of variable. The proposed building would require a primary dwelling allocation of 120 HCF/yr. Staff recommends the following proposed allocations, and purchase of 0.19 AF from Casitas MWD and purchase of a new meter, including capital improvement fees.

Proposed Allocation:

017-0-180-31: Fixed = 120 HCF Variable = 223 HCF/yr

017-0-191-11:

Fixed = 120 HCF/yr

Allocation Needed for Primary Dwelling = 140 HCF/yr

Calculate Allocation Purchase: $140 - 73 = 67 + 15$ (to allow for minimal variable allocation) = 82

Variable Stage 1 Allocation = 15 HCF/yr

Purchase 0.19 AF = ~\$3,509



Will-Serve/Proof of Service/New Meter Request

A "Will-Serve" letter may be issued upon the District's completion of an analysis determining that all conditions of approval are met.

Required Attachments:

1. Drawing/sketch of project (with dimensions)
2. Tax Assessors parcel map that includes the subject property.
3. Subdivision map covering the location of the project.*
4. Documentation of existing permitted dwellings on the property.

* Clearly indicate all APNs and legal lots involved in the project. Ensure any markups to county documents do not obscure the underlying information.

Applicant Information:

Account Number:

Name:

Company:

Mailing Address:

347 S Padre Juan Ave

Phone Number:

Email Address:

Project Information:

New Meter Requested:

☐ Yes ☐ No

Assessor's Parcel #(s):

017-0-191-110 and 017-0-180-310

Service Address:

347 S Padre Juan Ave. new address will be 351 S Padre Juan Ave.

City, State, Zip code:

Ojai, CA 93023

Planning Dept Case #:

EST-C23-00090

of Existing Dwellings:

1 (0 on parcel)

Date Dwellings Permitted: Before 1955

Type of Construction:

☒

New Construction

☐

Tenant Improvement

☒

ADU

☐

Other

Type of Use:

☒

Single Family Res

☐

Multi-Family Res (# of dwellings _____)

☐

Other

Project Dimensions (Sqft):

468

Continued on Next Page



Will-Serve/Proof of Service/New Meter Request

Detailed Project Description:

Please see attachment

Please allow a minimum of 60 days to evaluate and process Will-Serve letter and new meter requests. The time frame will depend on receipt of satisfactory information from the applicant and schedule of pertinent District Committees and Board of Directors meetings.



I acknowledge that MOWD will bill corresponding fees (listed below) for processing this request.

Applicant Signature

Date

[Redacted Signature]

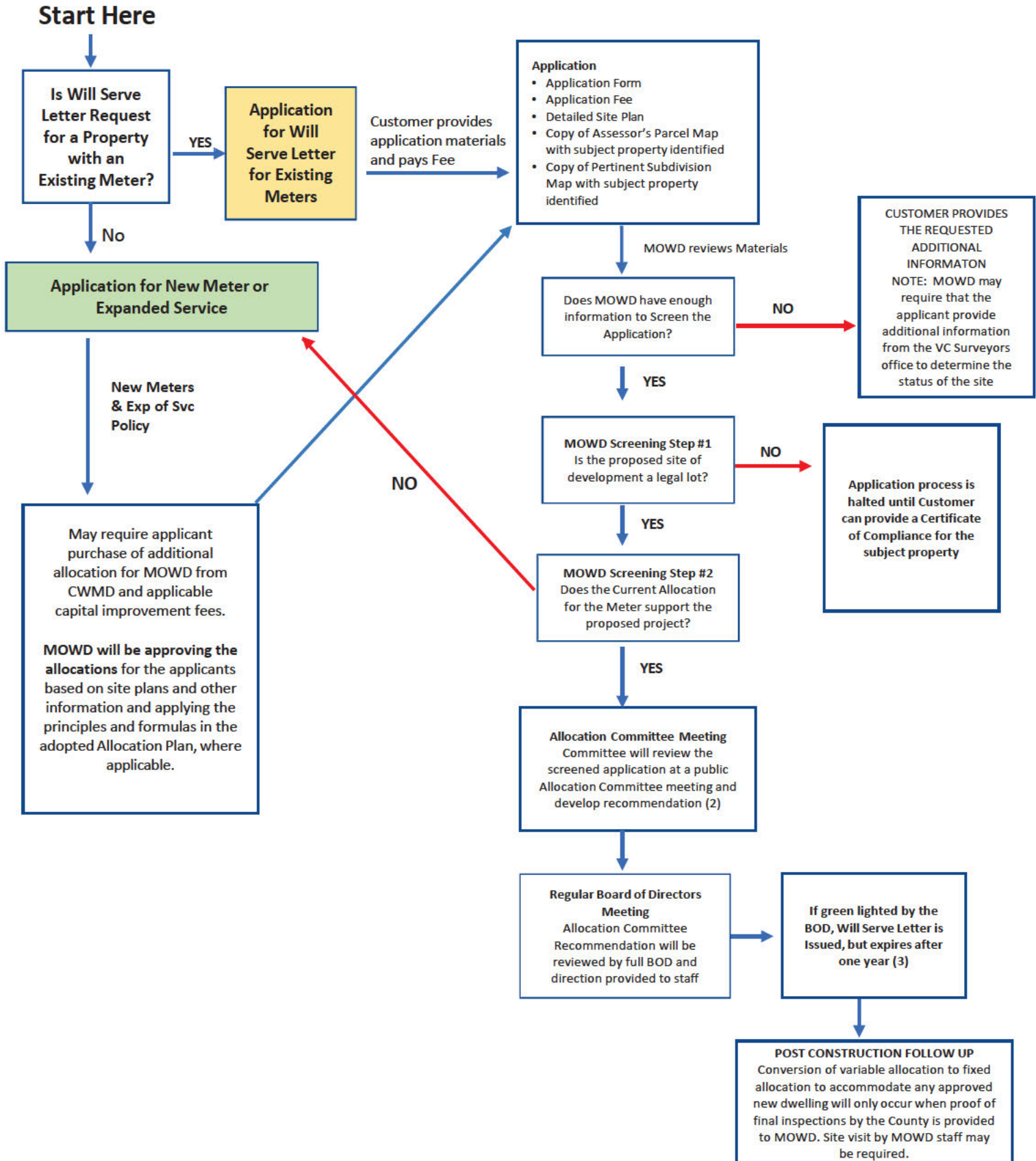
8-24-23

Fee Schedule

Will-Serve & New Meter Requests - Administrative Fee	\$100
Fire Flow Testing Fee	\$300
Capital Improvement New Connection (5/8")	\$4,009.52
Capital Improvement New Connection (1")	\$6,655.80
Capital Improvement New Connection (1.5")	\$10,023.80
Capital Improvement New Connection (2")	\$21,370.74
Capital Improvement New Connection (3")	\$46,751.00
Capital Improvement New Connection (4")	\$133,637.30

Will Server Letter/New Meter Application Procedures

2023



- 1) Administrative Fee of \$100 will be charged for all new meter and will serve requests.
- 2) Among considerations for ADUs will be whether the proposed ADU is on the same legal lot as the principal dwelling. If not, project leads to potential for requirement for new meter if legal lot with ADU comes under different ownership. At a minimum, in such cases, a Will Serve Letter will include language providing fair warning to the applicant of MOWD's no-wheeling policy.
- 3) At MOWD's discretion, the expiration date for Will Serve Letters may be extended upon MOWD's review of evidence of satisfactory efforts toward project implementation.

Detailed Project Description:

This is for the construction of a new detached ADU at 347 S. Padre Juan Ave.

The new address for the ADU will be 351 S Padre Juan Ave.

The house was built in 1949. We were unable to locate the original permit for the property. We have a permit for re-roofing from 2001.

Our legal lot is a flagpole lot consisting of two parcels. Parcel 1 (017-0-180-310) has the main house. Parcel 2 (017-0-191-110) is the flagpole parcel which is narrow and long. It is used to access the main house from S Padre Juan Ave. We cannot subdivide because we need Parcel 2 in order to access our house and the parcel 2 is too small.

Attachment descriptions.

Subdivision Map 1 - shows Parcel 1 where the main house is located

Subdivision Map 2 - shows Parcel 2 where the ADU will be located

Will serve letter - We received a will serve letter in 2017 but did not build at that time

Parcel Report - information about the parcel and zoning

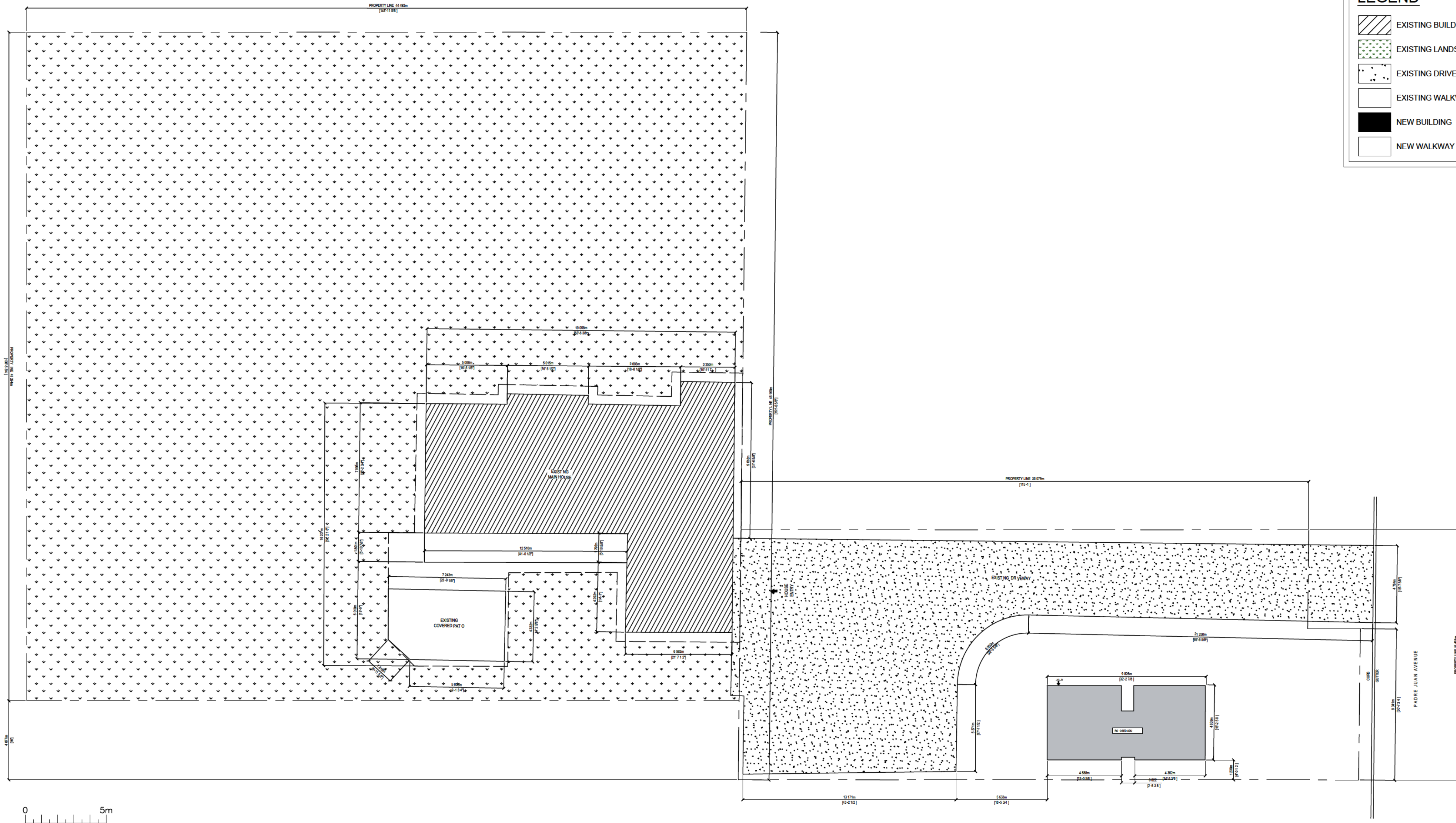
Parcel Map - Our property is Parcel 1.

Historical documents - oldest permit we could find - stamped 1955

We request to attend the committee hearing when it is being reviewed so we can answer questions you may have.

This checklist is designed to facilitate a smooth permitting process for NOMAD Home units. By adhering to these guidelines, professionals can ensure quicker and more efficient approvals, reducing delays for homeowners and builders alike.

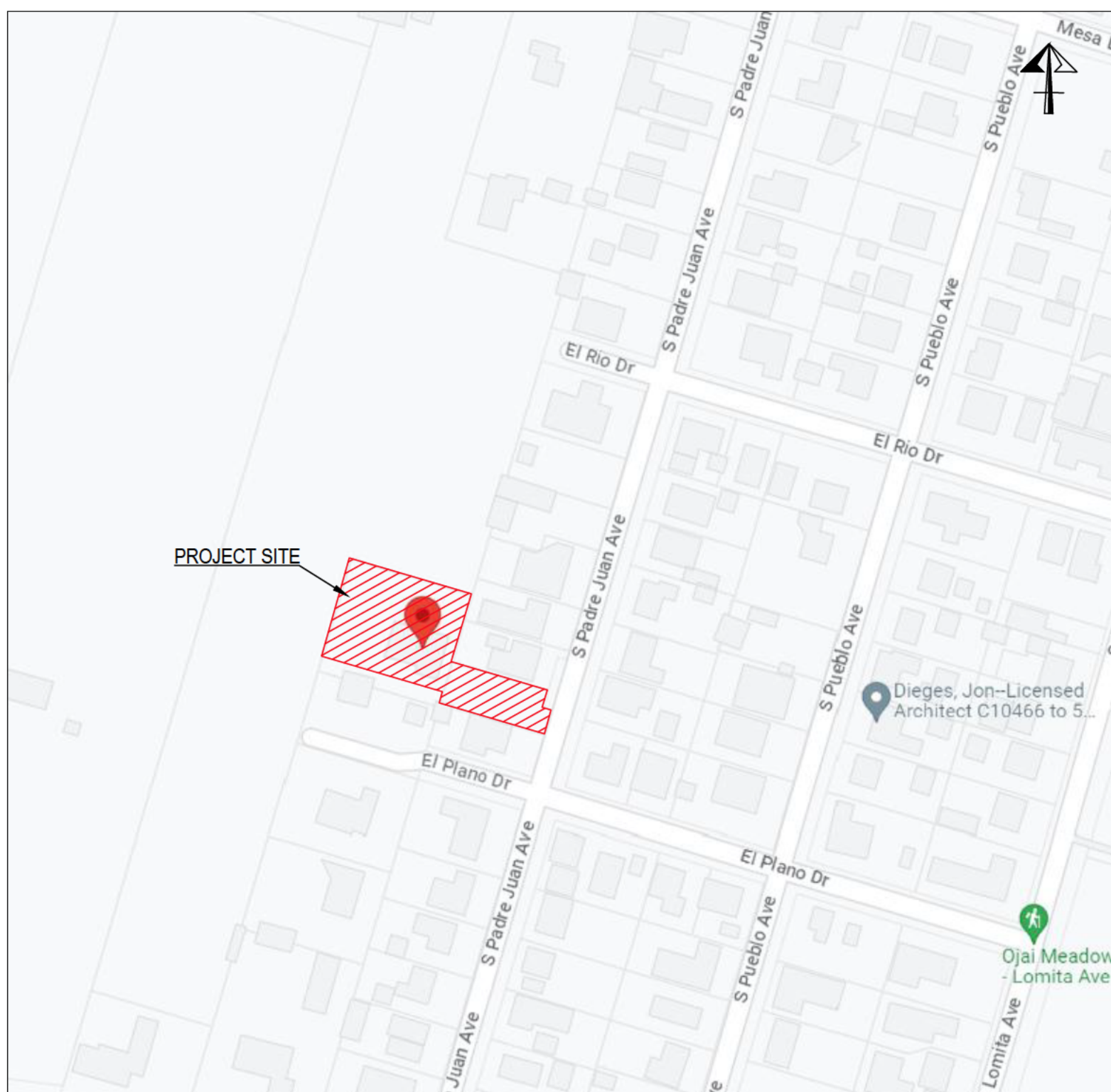
1. Applications
 - ☐ Universal Planning Application
 - ☐ Building Permit Application
2. Title Block (On all sheets)
 - ☐ Area for the design professional to sign (if required)
 - ☐ Contact details for NOMAD Housing
 - ☐ Area for property-specific details
 - ☐ Scale on all drawings
3. Fillable Cover Sheets
 - ☐ Occupancy and Type of Construction
 - ☐ Fire Safety Features (e.g., fire sprinklers)
 - ☐ Gross Area
 - ☐ Lot Coverage Calculation (if relevant)
 - ☐ Index of Drawings
 - ☐ Environmental and Geographical Notes
4. Architectural Plans
 - ☐ Architectural floor plan with dimensions
 - ☐ Architectural roof plan
 - ☐ Exterior elevations with colour and material details
5. Structural Plans
 - ☐ Standardized Structural Details (if applicable)
 - ☐ Site-specific notes (e.g., foundation type based on soil)
6. Utility Integration
 - ☐ Utility Hookup Details
 - ☐ Site Preparation Notes
7. Energy Efficiency and Environmental Compliance
 - ☐ Energy Compliance Details and Forms (if required)
 - ☐ Environmental Compliance Notes and Checklists (based on local requirements)



01 SITE PLAN



11



12

OWNER:		347 SOUTH PADRE JUAN AVENUE, QJAI, CA 94041	
LOT/PARCEL AREA:		25,605.11 P (2,399.23 MP)	
PROPERTY TYPE:		SINGLE-FAMILY DWELLING	
SCOPE OF WORK:		CONSTRUCT AN ACCESSORY DWELLING UNIT (ADU)	
CONSTRUCTION TYPE:		TYPE VB (METAL FRAME, NON-RAISED)	
EXISTING HOUSE:		2,147.83 P (199.54 MP)	
TOTAL AREA:		468.12 P (43.49 MP)	
TOTAL AVAILABLE FLOOR AREA:		2,815.95 P (243.03 MP)	
% LOT COVERAGE:		10.13%	
PROJECT INFORMATION			1
A001 COVER SHEET / PLOT PLAN / VIGNETTE MAP / GENERAL NOTES			
A100 FLOOR PLANS			
A200 BUILDING ELEVATIONS			
A300 BUILDING DETAILS			
A400 BUILDING SCHEDULES			
A500 WINDOW SCHEDULES			
A600 ELECTRICAL DRAWINGS			
SHEET INDEX 2			2
1. UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES SHOW ON THE CONTRACT DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE.			
2. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONTRACT DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE MONITOR OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.			
3. THE CONTRACTOR SHALL VERIFY ALL JOB SITE CONDITIONS AND RELATED DIMENSIONS.			
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE LATEST EDITION CITY CODES.			
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND THE SAFETY IN AND AROUND THE JOB SITE AND OF ADJACENT PROPERTIES.			
6. CONTRACTOR AND OWNER SHALL KEEP LOADS ON THE STRUCTURE WITHIN THE ALLOWED DESIGN LOADS BEFORE AND AFTER CONSTRUCTION.			
7. COMPLIANCE WITH CODES AND ORDINANCES GOVERNING THE WORK SHALL BE MADE AND ENFORCED BY THE GENERAL CONTRACTOR.			
8. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.			
9. NOTE: THAT ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.			
10. MANUFACTURER'S SPECIFICATIONS FOR INSTALLATIONS OF MATERIALS SHALL BE FOLLOWED.			
11. WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED AND THE GENERAL CONTRACTOR SHALL COORDINATED THE WORK OF THE VARIOUS TRADES TO EXPEDITE THE JOB IN A SMOOTH AND CONTINUOUS PROCESS.			
12. CONTRACTOR IS REQUIRED TO CALL FOR AN INSPECTION OF THE PLACEMENT OF THE BMP'S PRIOR TO ANY GRADING, BUILDING PAD PREPARATION, OR CONSTRUCTION OF FOOTINGS, OR OTHER SITE WORK, IF THE WORK TAKES PLACE BETWEEN OCTOBER 1ST AND JUNE 1ST.			
GENERAL NOTES 3			3
- 2019 CALIFORNIA BUILDING CODE.			
- 2019 CALIFORNIA RESIDENTIAL CODE			
- 2019 CALIFORNIA MECHANICAL CODE			
- 2019 CALIFORNIA PLUMBING CODE			
- 2019 CALIFORNIA ELECTRICAL CODE			
- 2019 CALIFORNIA ENERGY CODE			
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE			
- ALL OTHER APPLICABLE LOCAL CODES AND ORDINANCES			
APPLICABLE CODES			4
THE FOLLOWING FEATURES MUST BE FIELD VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR VERIFYING THE MODELED ENERGY QUALITY REQUIREMENT:			
BUILDING LEVEL VERTIFICATION: INDOOR AIR QUALITY VENTILATION AND KITCHEN RANGE HOOD			
COOLING SYSTEM VERIFICATIONS: MINIMUM AIRFLOW, VERIFIED SEER AND FAN EFFICIENCY WATTS/HK			
HVAC DISTRIBUTION SYSTEM VERIFICATION: DUCT LEAKAGE TESTING.			
FOR PROPERTY WITH A STATE-LOCAL RESPONSIBILITY AREA, WITH A MODERATE FIRE HAZARD SEVERITY, PLEASE ENSURE ALL MATERIALS USED SHALL COMPLY WITH CRO-SECTION R337 REQUIREMENTS FOR EXPOSURE TO WILDFIRE. THE EXTERIOR OF THE STRUCTURE BE IGNITION RESISTANT AND BE ABLE TO RESIST THE ENTRY OF FLYING EMBERS AND FIRE RADIATION DURING A WILDFIRE.			
ALL EXTERIOR CONSTRUCTION MUST COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS (CRO-337 ATTACHED).			
NOTED: THE DIFFERED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE GENERAL CONTRACTOR HAS APPROVED THEIR DESIGN AND SUBMITTAL DOCUMENTS* (CRO-37.4.1)			
DEFERRED SUBMITTALS			5
A. VERIFY MATERIALS BELOW SHALL FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.			
B. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.			
C. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS			
D. VERIFY USE OF PROPER MATERIALS, DENSITIES AND FILL THICKNESSES DURING PLACEMENT AND COMPACTATION OF COMPACTED FILL			
E. PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY			
SPECIAL INSPECTIONS HAVE BEEN PERFORMED BY:			
1. 7/8/2020 CONCRETE & ANCHOR BOLT TESTING CONCRETE TESTING REPORT DATED REB ENGINEERING, INC PO BOX 113 SAINT HELENA, CA 94574 707 963 8680			
2. SOLIS REPORT, PROJECT 187, 7/14/2021 JIM CLOMBOS GEOTECHNICAL AND ENVIRONMENTAL CONSULTING 152 WEEKS WAY SEABOARD, CA, 95472 707 237 2703			
DEFERRED SUBMITTALS			6
FIRE COMMENTS:			
PLEASE NOTE ALL BUILDINGS SHALL HAVE A PERMANENTLY POSTED ADDRESS, WHICH SHALL BE PLACED ON BUILDINGS AND SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD OR THE PRIMARY DRIVEWAY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. SONOMA COUNTY FIRE STANDARDS SEC. 13-48			
A. ALL BUILDINGS SHALL HAVE A PERMANENTLY POSTED ADDRESS, WHICH SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD OR THE ROAD ADDRESS IS LOCATED.			
EXCEPTION: AN APPROVED INTERNALLY LIGHTED BUILDING ADDRESS DEVICE MAY BE USED WHEN SUCH BUILDING ADDRESS DEVICE IS LOCATED ON THE BUILDING AND THE BUILDING IS LOCATED WITHIN DRIVEWAY (30' OF THE EDGE OF THE ROAD) ON WHICH THE ADDRESS IS LOCATED.			
B. ALL ADDRESS SIGNS ALONG ANY WAY (ROAD) SHALL BE VISIBLE FROM BOTH THE INTERSECTION AND THE END OF THE ROAD.			
C. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, SUCH ADDRESSES SHALL BE MOUNTED ON A SINGLE APPROVED POST.			
D. ADRING A ROAD ADDRESS ACCESS SOLELY TO A COMMERCIAL BUILDING, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THE SITE.			



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WITHOUT WRITTEN PERMISSION.

347 South Padre Juan Avenue, Ojai, CA, USA

[illegible]

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SITE PLAN

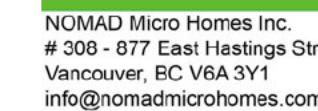
date: AUGUST 20, 2023

scale:

drawn:

IK / BGA / KG + Partners
dwg no.

A001



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PROJECT #230028 - PROPOSED ACCESSORY DWELLING UNIT (ADU)

no.	date	revision

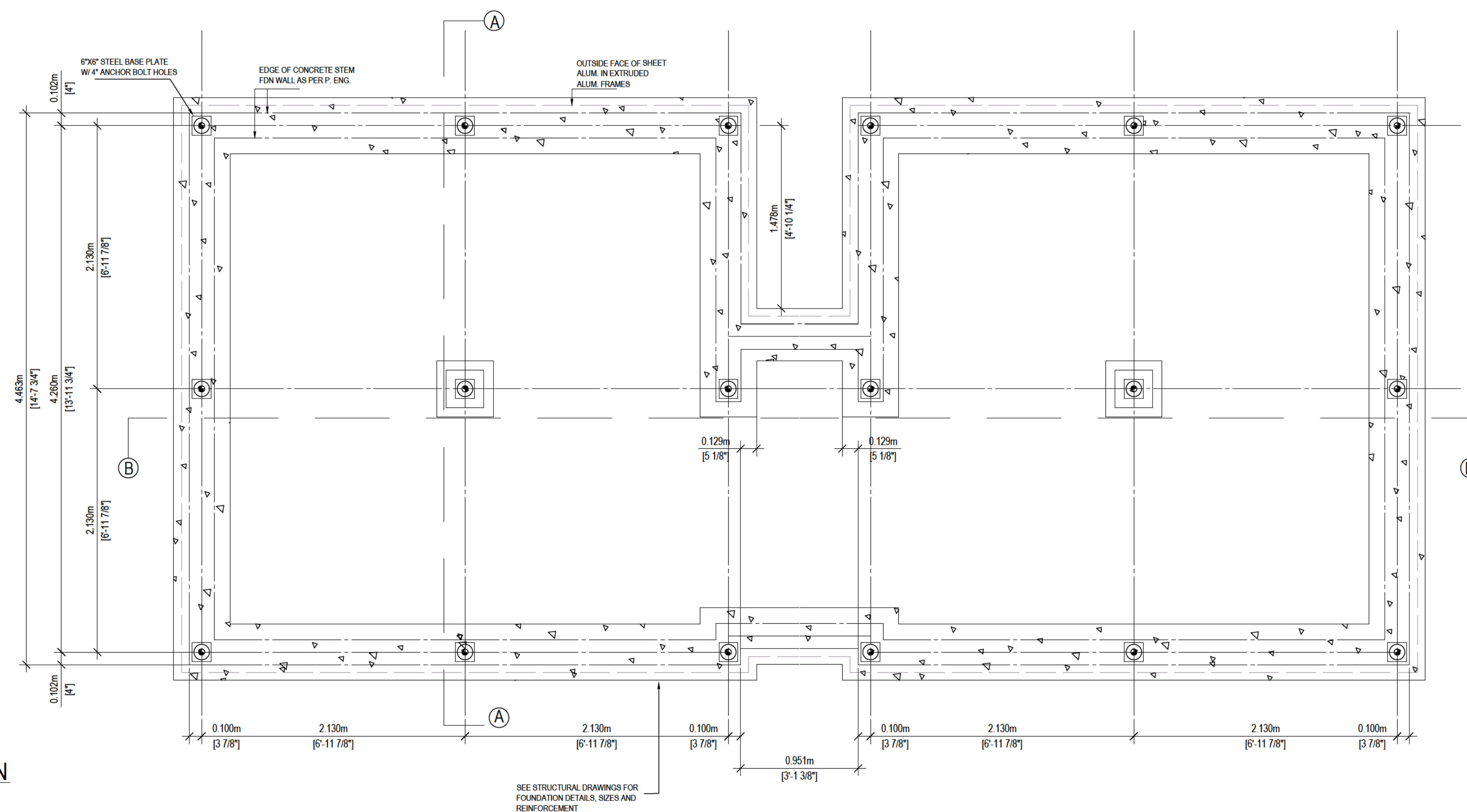
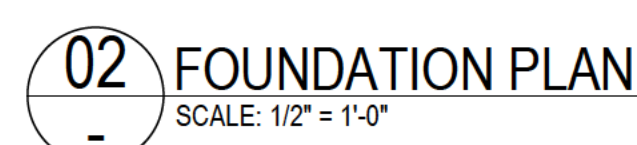
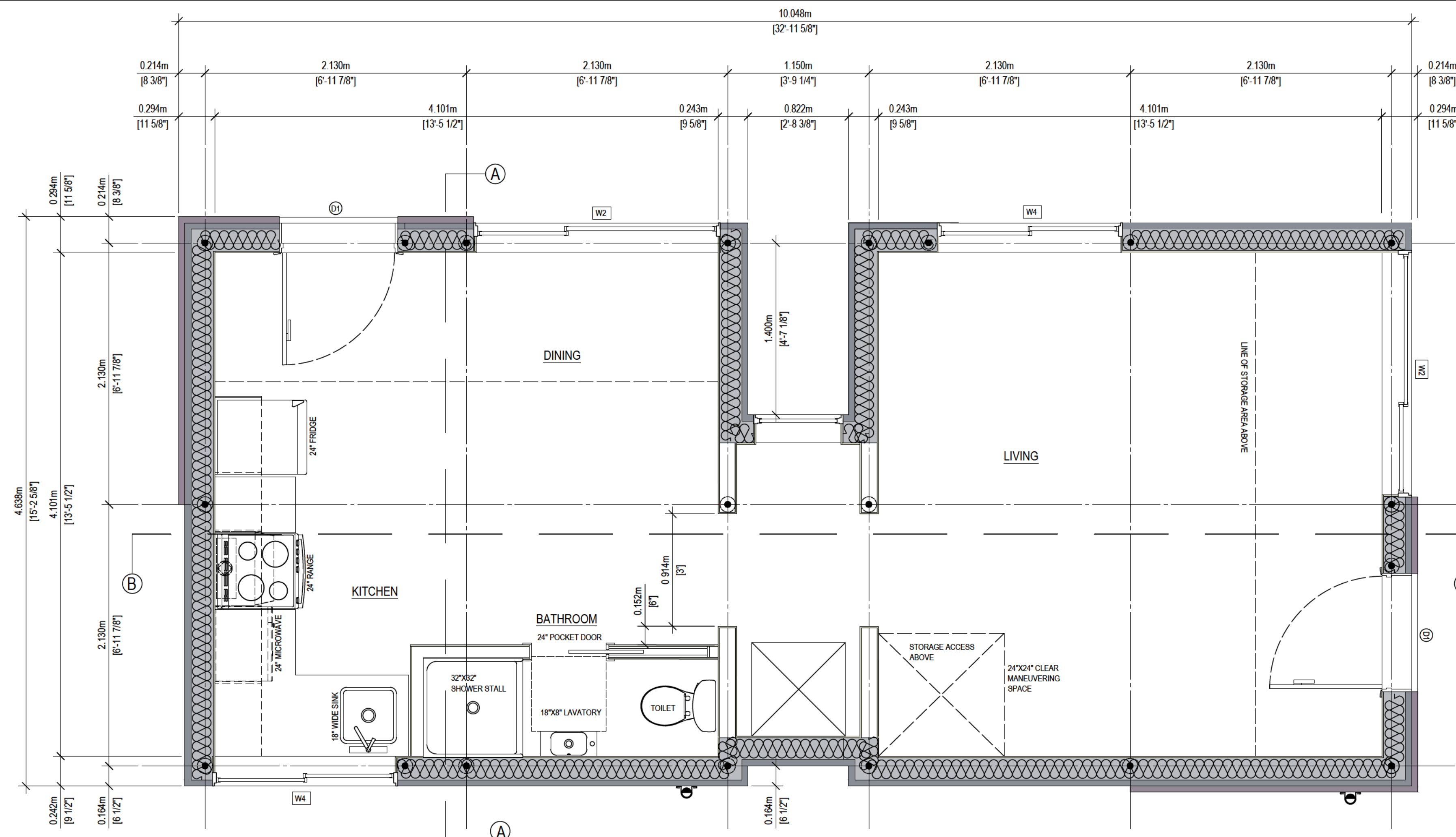
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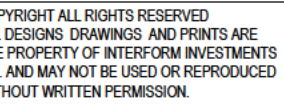
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AUGUST 20, 2023

scale:
AS SHOWN

drawn:
IK / BGA / KG + Partners
dwg no.

A100





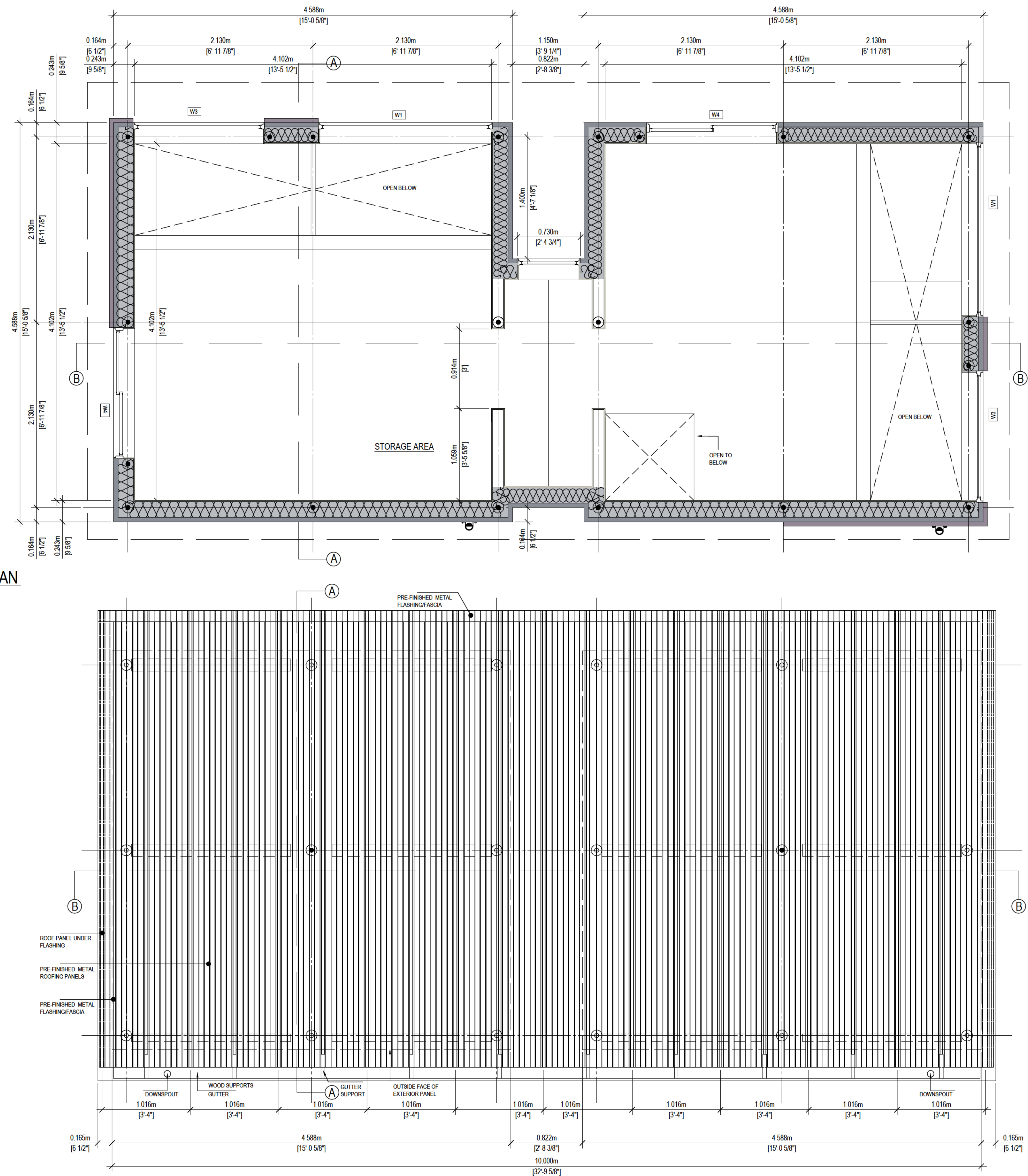
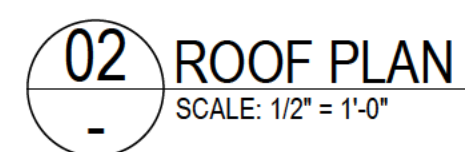
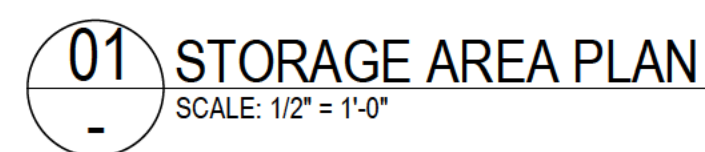
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DWELLING UN**
347 South Padre Juan Avenue, Ojai, CA, USA

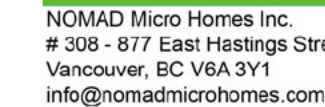
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FLOOR PLANS

Date: AUGUST 20, 2023
 Title: S SHOWN
 Location: / BGA / KG + Partners
 Page no.

A100





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PROJECT #230028 - PROPOSED ACCESSORY DWELLING UNIT (ADU)

no.	date	revision

title:
EXTERIOR ELEVATION

date:
AUGUST 20, 2023

scale:
AS SHOWN

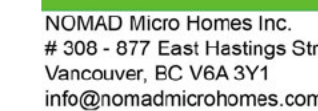
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dwg no.

A200



SEE STRUCTURAL DRAWINGS FOR FOUNDATION DESIGN



PROJECT #230028 - PROPOSED ACCESSORY DWELLING UNIT (ADU)

no.	date	revision

title:
BUILDING SECTIONS

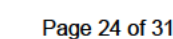
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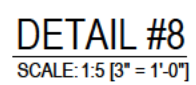
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A300





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PROJECT #230028 - PROPOSED ACCESSORY DWELLING UNIT (ADU)

347 South Padre Juan Avenue Ojai CA 93023

no.	date	revision

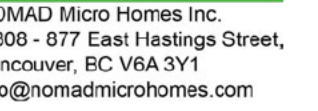
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SECTION DETAILS

date:
AUGUST 20, 2023

scale:
AS SHOWN

drawn:
IK / BGA / KG + Partners
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A301



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**PROJECT #230028 - PROPOSED ACCESSORY
DWELLING UNIT (ADU)**
347 South Padre Juan Avenue, Ojai, CA, USA

b.	date	revision

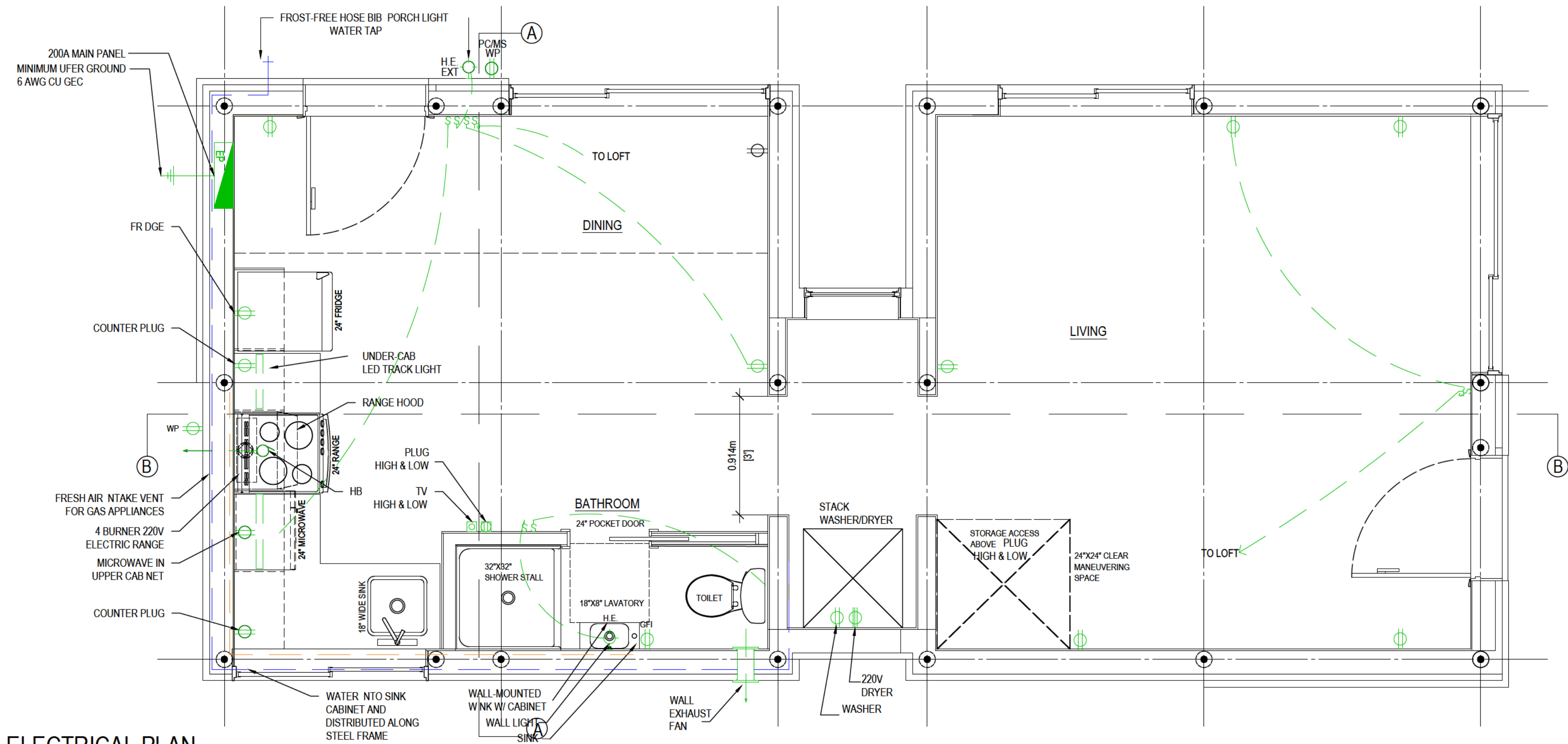
ECT/MECH &
SCHEDULES

AUGUST 20, 2023

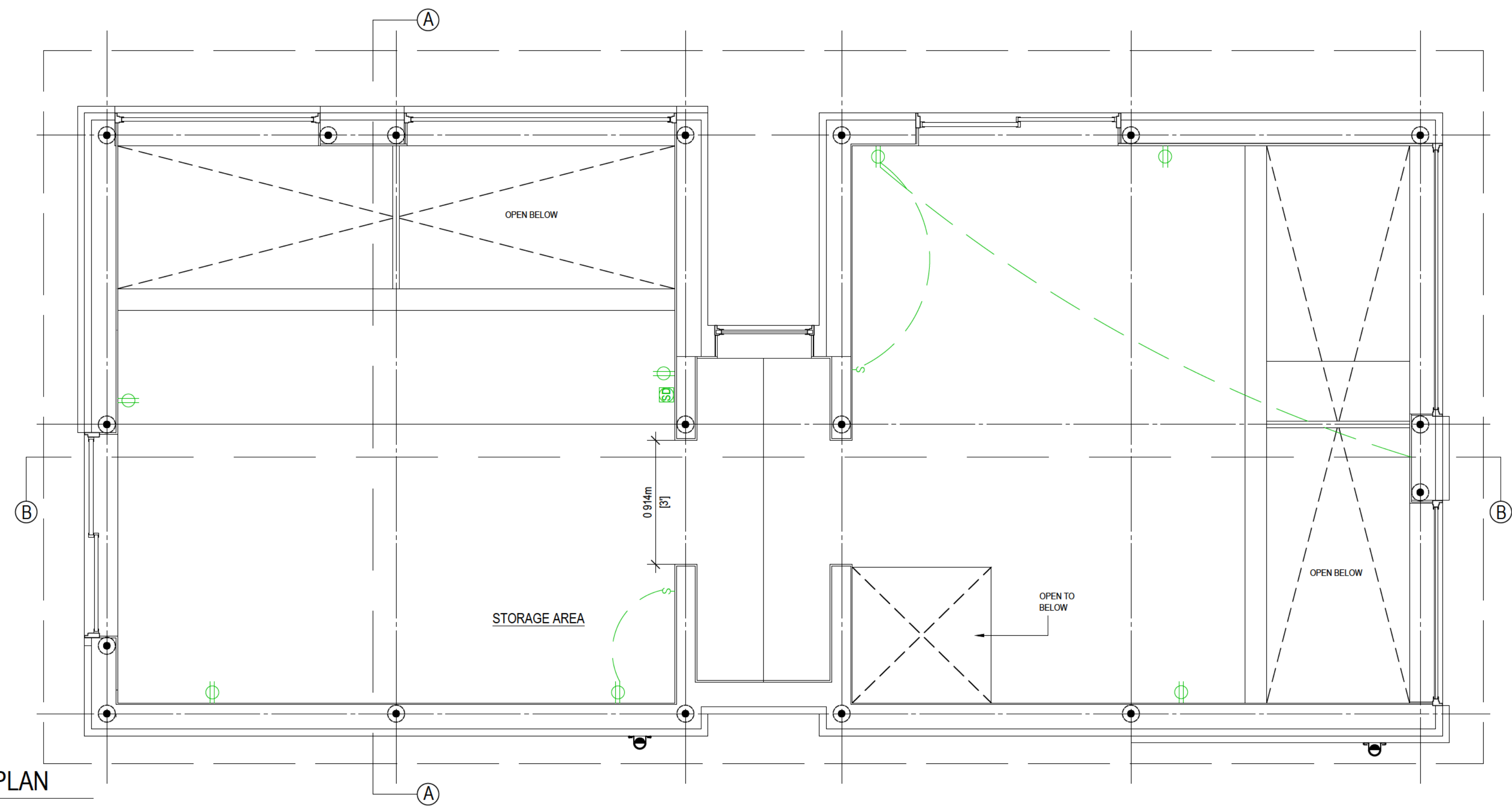
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/ BGA / KG + Partners
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A400



11 MAIN FLOOR: ELECTRICAL PLAN
SCALE: 1/2" = 1'-0"



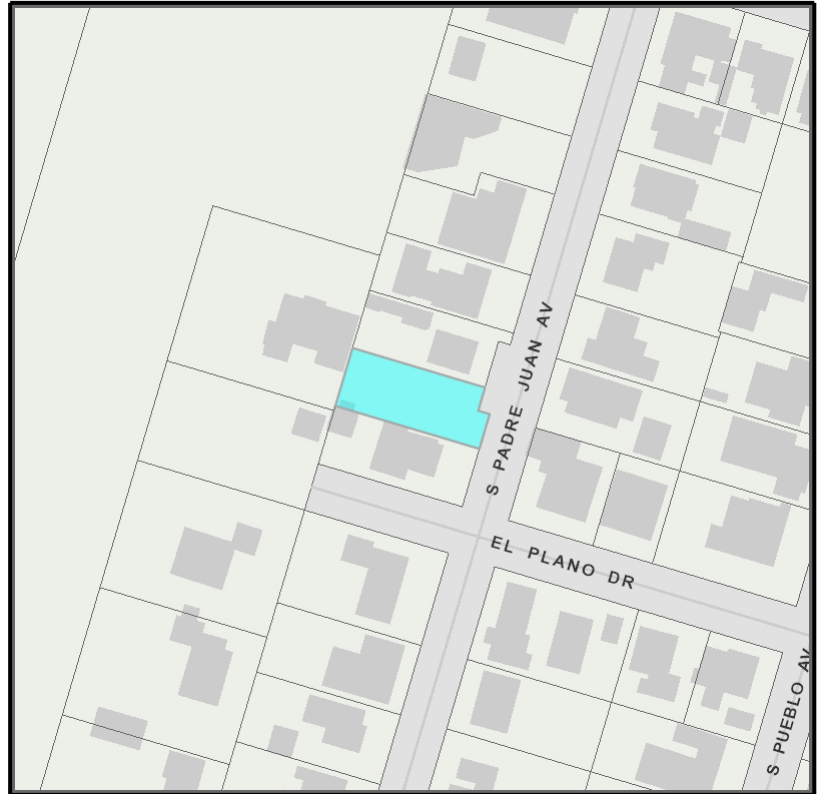
12 STORAGE: ELECTRICAL PLAN
SCALE: 1/2" = 1'-0"



Parcel Report

Parcel Information

APN	017019111
APN Suffix	0
Document Date	20151125
Document Number	150172385
Tract Number	
Map Number	
Situs Number	
Situs Direction	S
Situs Street	PADRE JUAN
Situs Suffix	AV
Acreage	0.13



Cities

City Boundary

No

Election Precincts

Election Precinct

Number:

Meiners Oaks 1-001

WARNING: The information contained herein was created by the Ventura County Geographic Information System (GIS), which is designed and operated solely for the convenience of the County and related contract entities. The County does not warrant the accuracy of this information, and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.



Parcel Report

Political Districts

Assembly Districts

Name: Stephen Anthony Bennett
Ordinal: 38th

Senatorial Districts

Name: S Monique Limon
Ordinal: 21st

Congressional Districts

Name: Salud Carbajal
Ordinal: 24th

Supervisory Districts

Name: Matt Laverie
Ordinal: 1st

School Districts

Elementary School Districts

Name: OJAI UNIFIED

Secondary School Districts

Name: OJAI UNIFIED

Land Use

County SOAR

No

2020 County Designated Places

Name: Meiners Oaks CDP

General Plan

Description: Very Low Density Residential

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Parcel Report

Overlay Zones

Name: Temporary Rental Units
Name: Ojai Valley Dark Sky

Zone Designation

Zoning: R1-10,000 sq ft/TRU/DKS

Area Plan Land Use Designations

Designation: Urban Residential 4-6 DU/AC

Area Plan Boundaries

Name: Ojai Valley

Hazards

Earthquake Fault Hazard Zones

No

Liquefaction

No

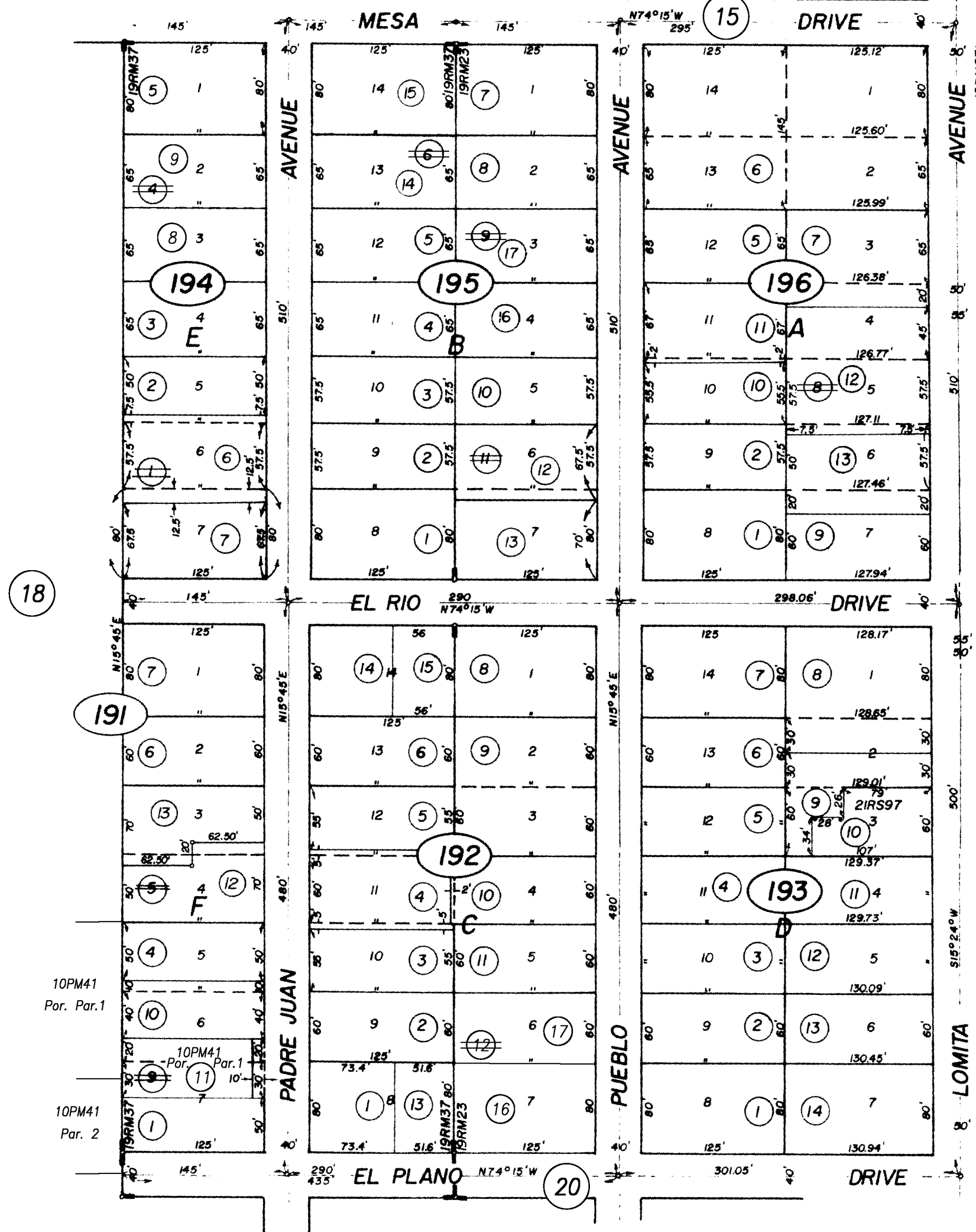
Military Operations Areas

No

Tsunami Inundation

No

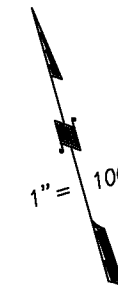
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RANCHO OJAI

17-19

Tax Rate Area
70018



EL CAMINO
DRIVE

Hall Tuttle Tr. No.2, M.R Bk.19, Pg.37
Hall Tuttle Tr. No.1, M.R Bk.19, Pg.23

NOTE: ASSESSOR PARCELS SHOWN ON THIS PAGE
DO NOT NECESSARILY CONSTITUTE LEGAL LOTS.
CHECK WITH COUNTY SURVEYOR'S OFFICE OR
PLANNING DIVISION TO VERIFY.

UNINCORPORATED AREA
Ventura County Assessor's Map.

Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.
Assessor's Mineral Numbers Shown in Squares.

DRAWN	REVISED	8-11-2010
REDRAWN	4-1-1962	CREATED
INKED	PLOTTED	EFFECTIVE
		ROLL
Compiled By Ventura County Assessor's Office		