

## New Meters, Allocations & Expansion of Services Committee Agenda

### Friday, September 8, 2023 at 9:30 a.m.

202 W. El Roblar Drive, Ojai, CA 93023
Please join my meeting from your computer, tablet or smartphone.
https://meet.goto.com/553845509

You can also dial in using your phone.
United States (Toll Free): 1 866 899 4679
Access Code: 553-845-509

<u>Right to be heard</u>: Members of the public have a right to address the Board directly on any item of interest to the public that is within the subject matter jurisdiction of the Board, provided that no action shall be taken on any item not appearing on the agenda unless the action is otherwise authorized by subdivision (b) of Section 54954.2.

Please Note: If you have comments on a specific agenda item(s), please fill out a comment card and return it to the Board Secretary. The Board President will call on you for your comments at the appropriate time, either before or during the Board's consideration of that item.

If you require special accommodations for attendance at or participation in this meeting, please notify our office 24 hours in advance at (805) 646-2114 (Govt. Code Section 94594.1 and 94594.2 (a))

- A. Call To Order
- **B. Public Comments**
- C. Discussion Items:
  - a. Will-Serve Letter Requests
    - 1350 S. La Luna Existing legal lot with no assigned allocation, add 900 sqft dwelling.
    - ii. 347 S. Padre Juan Existing legal lot with combined allocation, split allocation and add new meter for new primary 468 sqft dwelling.
- D. Adjourn



### 1350 S. La Luna Ave

### Summary:

The owner of 1350 S. La Luna Ave has one legal lot consisting of 2 parcels (018-0-120-145 & 018-0-200-245). The main parcel 018-0-102-145 is where the primary dwelling and garages exist and has current metered service (2 residential meters). The other parcel 018-0-200-245 has no buildings on it, except a shed. There is an existing additional meter (ag meter) at the front parcel, that is inactive. Staff did extensive research into billing and meter archives to find the history of that parcel and inactive meter. It is inconclusive what that inactive (ag) meter served historically. The property owner is requesting that inactive (ag) meter be re-activated to serve the second parcel, and to build a 900 sqft single family residence. Eagle Aerial data for the unserved parcel was captured but not included in the original allocation calculations.

### Allocation Per Parcel (Eagle Aerial Data):

018-0-200-24

Total Parcel (Sqft): 13218

Irrigable Area (Sqft): 12488

Fixed Stage 1 Allocation: 0

Variable Stage 1 Allocation: 200 HCF/yr

### Recommendation:

It is the recommendation of staff that the variable allocation of 200 HCF/yr be assigned to the inactive meter based on the Eagle Aerial parcel data, to serve parcel 018-0-200-245. The parcel has no fixed allocation and 200 HCF/yr of variable. The proposed building would require a primary dwelling allocation of 120 HCF/yr. Staff recommends the following proposed allocations.



### **Proposed Allocation:**

018-0-200-245

Fixed = 120 HCF/yr

Allocation Needed for Primary Dwelling = 140 HCF/yr

Variable Stage 1 Allocation: 200 HCF/yr

Calculate Adjusted Allocation: 200-140 = 60 HCF

New Adjusted Variable Stage 1 Allocation= 60 HCF/yr



### Will-Serve/Proof of Service/Meter Request Form

A "Will-Serve" letter may be issued upon the District's completion of an analysis determining that all conditions of approval are met.

### Required Attachments:

- 1. Drawing/sketch of project (with dimensions)
- 2. Tax Assessors parcel map that includes the subject property.
- 3. Subdivision map covering the location of the project.\*
- 4. Documentation of existing permitted dwellings on the property.
  - \* Clearly indicate all APNs and legal lots involved in the project. Ensure any markups to county documents do not obscure the underlying information.

Parcel Owner Informatio	n:			
Account Number:	C			
Name:				
Mailing Address:	1350 S La Luna Ave Ojai, C	A 93023		
Phone Number:				
Email Address:				
Applicant Information:				
Name:				
Company:				
Mailing Address: Phone	1350 S La Luna Ave Ojai, C	A 93023		
Number:				
Email Address:	com			
Project Information:				
New Meter Requested:	Yes ✓ No			
Assessor's Parcel #(s):	018-0-200-245			
Service Address:	1350 S La Luna Ave			
City, State, Zip code:	Ojai, CA 93023			
Planning Dept Case #:				
# of Existing Dwellings:	2 on 018-0-102-145	Date Dwellings Permitted:   ✓		

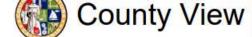


## Will-Serve/Proof of Service/Meter Request Form

Type of Construction:			
✓ New Construction	Tenant Improvement	<b>✓</b> ADU	Other
Type of Use: Single Family Res	Multi-Family Res (# of dwel	llings)	Other
Project Dimensions (sqft):	900		
Detailed Project Description:			
	ot 56) consisting of 2 par 018-0-200-245 Please se		ram and
•	3-0-102-145) is where my is current meter service t		ages
There is an existing a number 83062731) the water line to this second	8-0-200-245) has no buile additional meter in front of hat is inactive. I would like ond parcel with the intentamily residence on it.	of my house (me e to use this me	ter ter for a
The time frame will depend	days to evaluate and process Wil on receipt of satisfactory informat District Committees and Board of	ion from the applicant	Promote median com silinos mailine de designación com monte o
	VD will bill a \$100 Administrativene this fee would be waiv		this request.
		7/25/23	

APN	Parcel Area	F1 Imperv	F2 Pool	F3 IrrgVeg	F4 Irrg TurfLawn	F5 NL	F6A NotIrrg TurfLawn	F6B NotIrrg Misc	F6C NotIrrg Veg	F7 ArtificialTurf	F8 AnimalArena	F10 Agriculture
018-0-200-24	13218	729	0	0	0	0	0	11060	1429	0	0	0
	12488											
	7488											
	Irrigable Area	12488.32										
	5000x15 gal =	75000										
	7488 x 10 gal=	74880										
		149880	gal									
	Variable	200	units/yr									
	Fixed	0	units/yr									
	Total Stage 1	200	units/yr									





### Legend

Streets

1:6000

**Parcels** 

### Benchmarks

- NAVD88
- NAVD88 Not Recovered
- NAVD88/NGVD29
- NAVD88/NGVD29 Not Recovered
- NGVD29
- NGVD29 Not Recovered
- No Elevation
- No Elevation Not Recovered

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Recorded at the Request of ePN	
RECORDING REQUESTED BY:	20200814-00123486-0 1/6 Ventura County Clerk and Recorder
OLD REPUBLIC TITLE	MARK A. LUNN 08/14/2020 08:00:00 AM 1660477 \$134.00 ES
AND AFTER RECORDING RETURN TO:	Electronically Recorded in Official Records,
1350 S LA LUNA AVE.	County of Ventura
OJAI, CA 93023	
File No. 01-20010614-02C	
MAIL TAX STATEMENTS TO:	
1350 S LA LUNA AVE.	
OJAI, CA 93023	
APN: 018-0-102-145 AND 018-0-200-245	
GRANT DEE	<u>a</u>
**This conveyance is in dissolution of marriage by c	one spouse to the other, R&T 11927**
THE UNDERSIGNED GRANTOR(s) DECLARE(s)	
DOCUMENTARY TRANSFER TAX is \$ 0 CIT	'Y TAX \$ 0
Computes on full value of property conveyed, or	
Computed on full value less value of liens and encumbrances Unincorporated area: City of OJAI	remaining at time of sale.
Signature of Declarant or Agent Determining Tax	
FOR A VALUABLE CONSIDERATION, receipt of which is her	reby acknowledged,
GRANTOR(S): LISA SMITH, AN UNMARRIED WOMAN A MAN, WHO TOOK TITLE AS WIFE AND HUSBAND AS C SURVIVORSHIP, hereby GRANT(S) to	
LISA SMITH, AN UNMARRIED WOMAN, the following des VENTURA, State of CALIFORNIA:	cribed real property in the City of OJAI, County of
See Attached Exhibit A.	

Property Address: 1350 S LA LUNA AVE., OJAI, CA 93023

DATED: 6/17/2020

A notary public or other officer completing the individual who signed the document to which truthfulness, accuracy, or validity of that documents.	this certificate is attached, and	
STATE OF CALIFORNIA COUNTY OF VIA		
On U-17-20 before me.  Notary Public and Title), personally appeared	TRohman	, a Notary Public, (insert Name of , who
proved to me on the basis of satisfactory evidence instrument and acknowledged to me that he/she/t that by his/her/their signature(s) on the instrument acted, executed the instrument.	they executed the same in his/h	me(s) is/are subscribed to the within cr/their authorized capacity(ies), and
I certify under PENALTY OF PERJURY under tirtle and correct.	the laws of the State of Californ	aia that the foregoing paragraph is
WITNESS my hand and official scal.	gonsa.	7AN 74506 8 74506 8 74506 7 74507 1
(SIGNATURE OF NOTARY)	- <del></del>	(SEAL)
SEE ATTACHED		

No title exam performed by the preparer. Legal description and party's names provided by the party.

DATED: 6-17-20		
LISASMITH		
A notary public or other officer completing this cert individual who signed the document to which this c truthfulness, accuracy, or validity of that document.		the
STATE OF CALIFORNIA COUNTY OF Unity Defore me. T BOV Notary Public and Title), personally appeared	1 man, a Notary	Public, (insert Name of
proved to me on the basis of satisfactory evidence) to be instrument and acknowledged to me that by his/her/their signature(s) on the instrument the practed, executed the instrument.	ecuted the same in his hor/their aut	thorized capacity(ies), and
I certify under PENALTY OF PERJURY ander the law true and correct.	s of the State of California that the	foregoing paragraph is
WITNESS my hand and official seal.	¢≎ov.	::::::::::::::::::::::::::::::::::::::
0001	. •	UFORNIA ( UNITY UNITY 2023)
(SIGNATURE OF NOTARY)	C	SEAL)

SEE ATTACHED.

A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California County of Ventura	
On 6-17-2020, before me, T. Bohman, Notary Public personally appeared and	
who proved to me on the basis of satisfactory evidence to be the person(s) whose	;
name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they	
executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s)	
on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed	
the instrument.	
I certify under PENALTY OF PERJURY under the laws of State of California that the foregoin paragraph is true and correct.	g
T. BOHMAN COMM. # 2274506 NOTARY PUBLIC-CALIFORNIA VENTURA COUNTY WY COMMISSION Express JANUARY 6, 2023 8 OCCORDING COCCOCCOCCOCCCCCCCCCCCCCCCCCCCCCCCCCC	
PLACE NOTARY SEAL ABOVE	
Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.	
Description of attached document	
Title or type of document:	
	<i>-</i>
•	
Document Date:Number of Pages:	_
Signer(s) Other than Named Above:	_

### EXHIBIT A LEGAL DESCRIPTION

SITUATED IN THE CITY OF OJAI, COUNTY OF VENTURA, STATE OF CALIFORNIA:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THOSE PORTIONS OF LOTS 55 AND 56 OF LOS RANCHITOS, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, ACCORDING TO THE MAP RECORDED IN BOOK 16, PAGE 75 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF SAID LOT 56: THENCE ALONG THE WESTERLY LINE OF SAID LOT 56:

1ST: SOUTH 5 DEGREES 30 MINUTES 00 SECONDS WEST 165 FEET, MORE OR LESS, TO THE NORTHERLY LINE OF THE LAND DESCRIBED IN THE DEED TO CARL W. LANGUIST, JR. ET AL, RECORDED AUGUST 1, 1952 IN BOOK 1081, PAGE 210 OF OFFICIAL RECORDS; THENCE ALONG SAID NORTHERLY LINE:

2ND: SOUTH 84 DEGREES 30 MINUTES 00 SECONDS EAST 264,00 FEET TO THE NORTHEASTERLY CORNER OF SAID LAND: THENCE

3RD: SOUTH 5 DEGREES 30 MINUTES 00 SECONDS WEST 63.00 FEET TO THE SOUTHEASTERLY CORNER OF SAID LAND ALSO BEING THE NORTHEASTERLY CORNER OF THE LAND DESCRIBED IN THE DEED TO PAUL K, LENNON, ET UX., RECORDED JANUARY 31, 1958 IN BOOK 1568, PAGE 348 OF OFFICIAL RECORDS; THENCE

4TH: SOUTH 5 DEGREES 30 MINUTES 00 SECONDS WEST 63.00 FEET TO THE SOUTHEASTERLY CORNER OF SAID LAST MENTIONED LAND AT A POINT IN THE 2ND COURSE RECITED AS "SOUTH 84 DEGREES 30 MINUTES EAST 300 FEET" IN THE DEED TO BERTHA STENE, ET AL, RECORDED SEPTEMBER 20, 1956 IN BOOK 1444, PAGE 580 OF OFFICIAL RECORDS:

THENCE ALONG SAID SECOND COURSE AND PROLONGATION THEREOF:

5TH: SOUTH 84 DEGREES 30 MINUTES EAST 126,62 FEET TO THE INTERSECTION WITH THE SOUTHERLY PROLONGATION OF THE WESTERLY LINE OF THE LAND DESCRIBED IN THE DEED TO HERBERT O. WEAVERLING AND HIS WIFE, RECORDED MARCH 23, 1949 IN BOOK 864, PAGE 506 OF OFFICIAL RECORDS:

### THENCE ALONG SAID PROLONGATION AND WESTERLY LINE:

6TH: NORTH 19 DEGREES 24 MINUTES EAST 184.89 TO THE MOST NORTHERLY CORNER OF THE LAND DESCRIBED IN DEED TO RAYMOND J. CAIN. ET UX., RECORDED JUNE 28, 1950 IN BOOK 946, PAGE 374 OF OFFICIAL RECORDS, ALSO BEING THE WESTERLY TERMINUS OF THE 9TH COURSE OF THE LAND DESCRIBED IN DEED TO DOROTHY MULLEN OVERALL RECORDED DECEMBER 7, 1967 IN BOOK 3232, PAGE 517 OF OFFICIAL RECORDS. SAID COURSE BEING RECITED AS "SOUTH 61 DEGREES 11 MINUTES 00 SECONDS EAST TO THE INTERSECTION WITH THE EASTERLY LINE OF SAID LOT 56"; THENCE

7TH: NORTH 17 DEGREES 33 MINUTES 30 SECONDS EAST 114.33 FEET TO A POINT IN THE NORTH LINE OF SAID LOT 56, DISTANT ALONG SAID NORTH LINE NORTH 84 DEGREES 30 MINUTES WEST 56.96 FEET FROM THE NORTHEAST CORNER OF SAID LOT; THENCE ALONG SAID NORTH LINE:

8TH: NORTH 84 DEGREES 30 MINUTES WEST 459.07 FEET TO THE POINT OF BEGINNING

SAID LAND IS ALSO SHOWN AS PARCEL I OF LOT LINE ADJUSTMENT NO. LLA-324 RECORDED DECEMBER 8, 1987 AS INSTRUMENT NO. 87-195824 OF OFFICIAL RECORDS.

EXCEPT THEREFROM THE OIL, GAS, MINERALS, AND OTHER HYDROCARBON SUBSTANCES LYING BELOW THE SURFACE OF SAID LAND, AS PROVIDED IN DEEDS OF RECORD.

APN: 018-0-102-145 AND 018-0-200-245

DOC#/BOOK-PAGE: 20100527-00078657-0

BEING THE SAME PROPERTY CONVEYED BY GRANT DEED

GRANTOR:	WIFE AND HUSBAND AS COMMUNITY
PROPERTY	
GRANTEE:	WIFE AND HUSBAND AS COMMUNITY
PROPERTY WITH RIGHT OF SURVIVORSHIP	
DATED: 04/06/2010	
RECORDED: 05/27/2010	

PROPERTY COMMONLY KNOWN AS: 1350 S LA LUNA AVE., QJAI, CA 93023



### 347 S. Padre Juan

### Summary:

The owners of 347 S. Padre Juan have 2 contiguous parcels (017-0-180-31 & 017-0-191-11), served by one meter. The current allocation was calculated based on the combined area. The request is to build a dwelling on the smaller lot and add a new meter. Staff reviewed the original Eagle Aerial data for both parcels and calculated the baseline allocation for each parcel.

### **Current Allocation (combined parcels):**

Fixed Stage 1 Allocation: 120 HCF/yr

Variable Stage 1 Allocation: 245 HCF/yr

### Allocation Per Parcel (Eagle Aerial Data):

017-0-180-31

Total Parcel (Sqft): 19429

Irrigable Area (Sqft): 14177

Fixed Stage 1 Allocation: 120 HCF/yr

Variable Stage 1 Allocation: 223 HCF/yr

017-0-191-11

Total Parcel (Sqft): 6053

Irrigable Area (Sqft): 3641

Fixed Stage 1 Allocation: 0 HCF/yr

Variable Stage 1 Allocation: 73 HCF/yr

202 W. El Roblar Drive, Ojai, California 93023 Tel: (805) 646-2114 Web: <u>www.meinersoakswater.com</u>



### **Recommendation:**

It is the recommendation of staff that the allocation be split according to the Eagle Aerial parcel data. Parcel 017-0-191-11 has no fixed allocation and only 73 HCF/yr of variable. The proposed building would require a primary dwelling allocation of 120 HCF/yr. Staff recommends the following proposed allocations, and purchase of 0.19 AF from Casitas MWD and purchase of a new meter, including capital improvement fees.

### **Proposed Allocation:**

017-0-180-31: Fixed = 120 HCF Variable = 223 HCF/yr

017-0-191-11:

Fixed = 120 HCF/yr

Allocation Needed for Primary Dwelling = 140 HCF/yr

Calculate Allocation Purchase: 140-73 = 67 + 15 (to allow for minimal variable allocation) = 82

Variable Stage 1 Allocation= 15 HCF/yr

Purchase 0.19 AF =  $^{\$}3,509$ 



### Will-Serve/Proof of Service/New Meter Request

A "Will-Serve" letter may be issued upon the District's completion of an analysis determining that all conditions of approval are met.

### Required Attachments:

- 1. Drawing/sketch of project (with dimensions)
- 2. Tax Assessors parcel map that includes the subject property.
- 3. Subdivision map covering the location of the project.\*
- 4. Documentation of existing permitted dwellings on the property.
  - \* Clearly indicate all APNs and legal lots involved in the project. Ensure any markups to county documents do not obscure the underlying information.

Applicant Information:	
Account Number:	
Name:	
Company:	
Mailing Address:	347 S Padre Juan Ave
Phone Number:	
Email Address:	а
Project Information:  New Meter Requested:  Assessor's Parcel #(s):	Yes No 017-0-191-110 and 017-0-180-310
Service Address:	347 S Padre Juan Ave. new address will be 351 S Padre Juan Ave.
City, State, Zip code:	Ojai, CA 93023
Planning Dept Case #:	EST-C23-00090
# of Existing Dwellings:	1 (0 on parcel) Date Dwellings Permitted: Before 1955
Type of Construction:  New Construction	Tenant Improvement ADU Other
Type of Use:	
Single Family Res	Multi-Family Res (# of dwellings) Other
Project Dimensions (Sa	ff): 468



## Will-Serve/Proof of Service/New Meter Request

### **Detailed Project Description:**

Please see attachment	
Tiodoo ooo allaamment	

Please allow a minimum of 60 days to evaluate and process Will-Serve letter and new meter requests.

The time frame will depend on receipt of satisfactory information from the applicant and schedule of pertinent District Committees and Board of Directors meetings.



I acknowledge that MOWD will bill corresponding fees (listed below) for processing this request.

### **Applicant Signature**



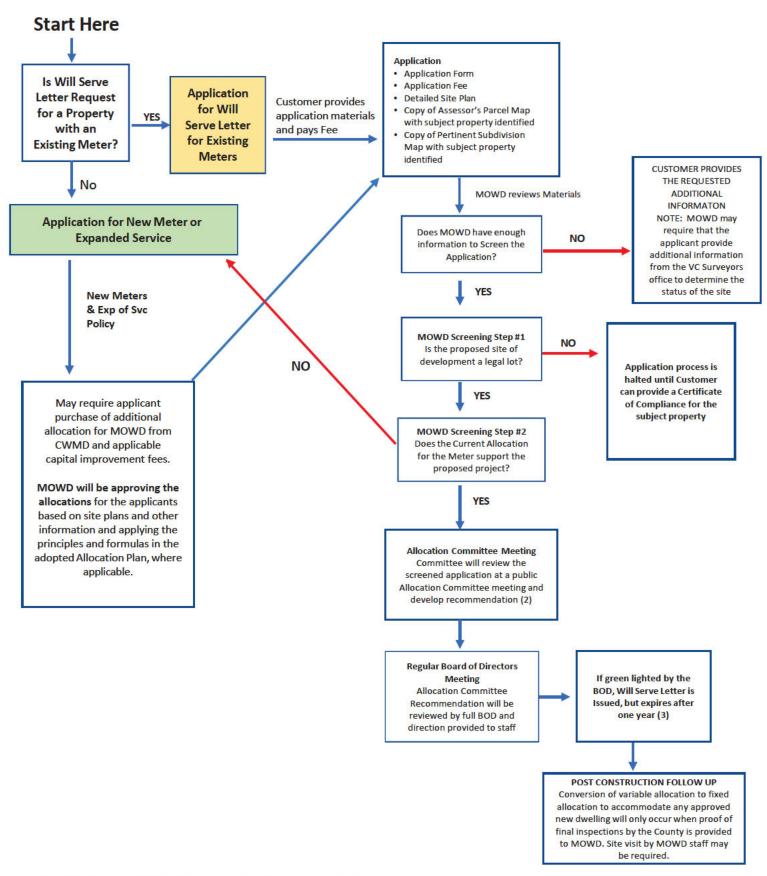
### Date

8-24-23

### Fee Schedule

	9
Will-Serve & New Meter Requests - Administrative Fee	\$100
Fire Flow Testing Fee	\$300
Capital Improvement New Connection (5/8")	\$4,009.52
Capital Improvement New Connection (1")	\$6,655.80
Capital Improvement New Connection (1.5")	\$10,023.80
Capital Improvement New Connection (2")	\$21,370.74
Capital Improvement New Connection (3")	\$46,751.00
Capital Improvement New Connection (4")	\$133,637.30

# Will Server Letter/New Meter Application Procedures



- 1) Administrative Fee of \$100 will be charged for all new meter and will serve requests.
- 2) Among considerations for ADUs will be whether the proposed ADU is on the same legal lot as the principal dwelling. If not, project leads to potential for requirement for new meter if legal lot with ADU comes under different ownership. At a minimum, in such cases, a Will Serve Letter will include language providing fair warning to the applicant of MOWD's no-wheeling policy.
  Page 18 of 31
- At MOWD's discretion, the expiration date for Will Serve Letters may be extended upon MOWD's review of evidence of satisfactory efforts toward project implementation.

### **Detailed Project Description:**

This is for the construction of a new detached ADU at 347 S. Padre Juan Ave.

The new address for the ADU will be 351 S Padre Juan Ave.

The house was built in 1949. We were unable to locate the original permit for the property. We have a permit for re-roofing from 2001.

Our legal lot is a flagpole lot consisting of two parcels. Parcel 1 (017-0-180-310) has the main house. Parcel 2 (017-0-191-110) is the flagpole parcel which is narrow and long. It is used to access the main house from S Padre Juan Ave. We cannot subdivide because we need Parcel 2 in order to access our house and the parcel 2 is too small.

Attachment descriptions.

Subdivision Map 1 - shows Parcel 1 where the main house is located Subdivision Map 2 - shows Parcel 2 where the ADU will be located Will serve letter - We received a will serve letter in 2017 but did not build at that time Parcel Report - information about the parcel and zoning Parcel Map - Our property is Parcel 1.

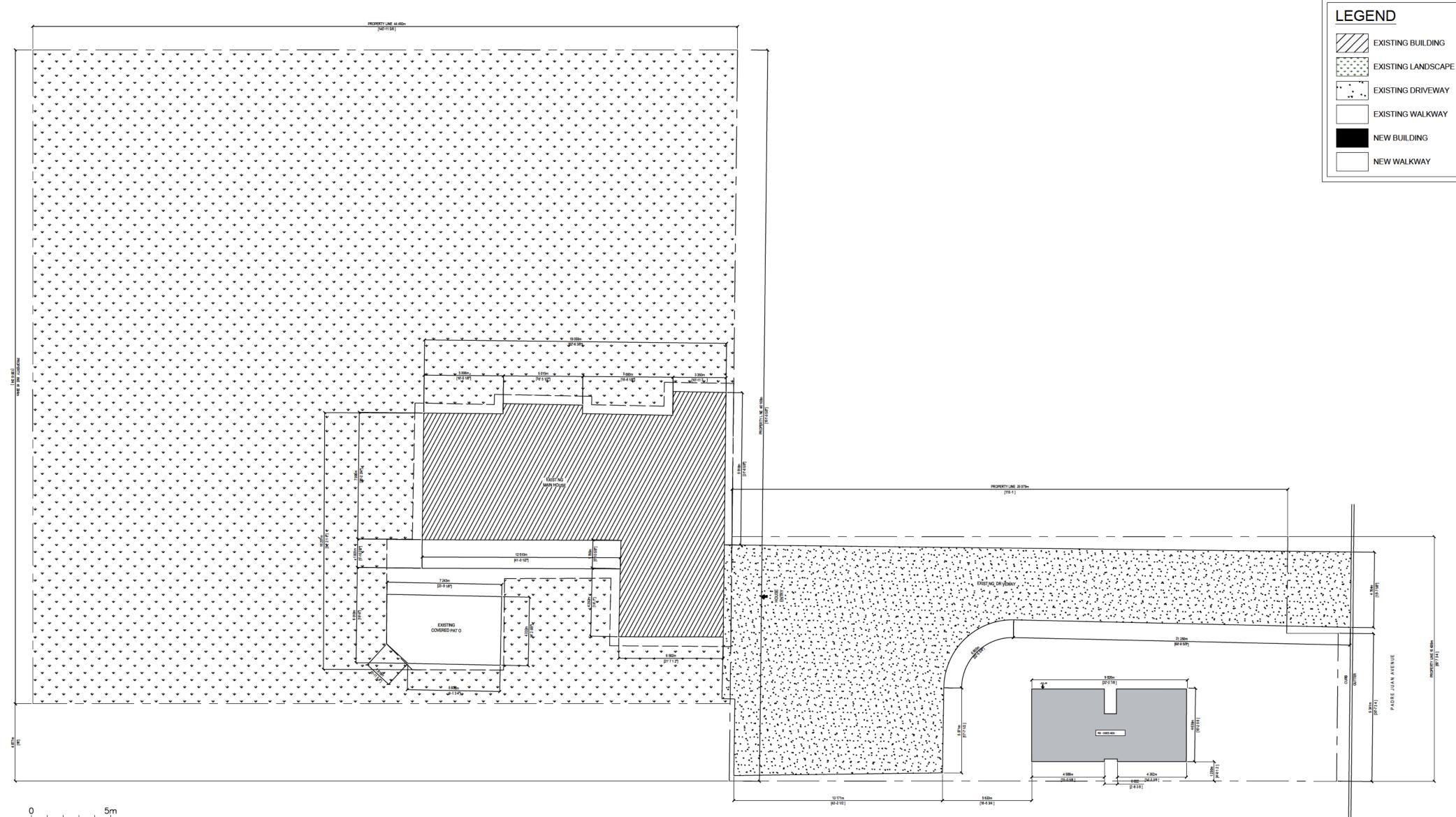
Historical documents - oldest permit we could find - stamped 1955

We request to attend the committee hearing when it is being reviewed so we can answer questions you may have.



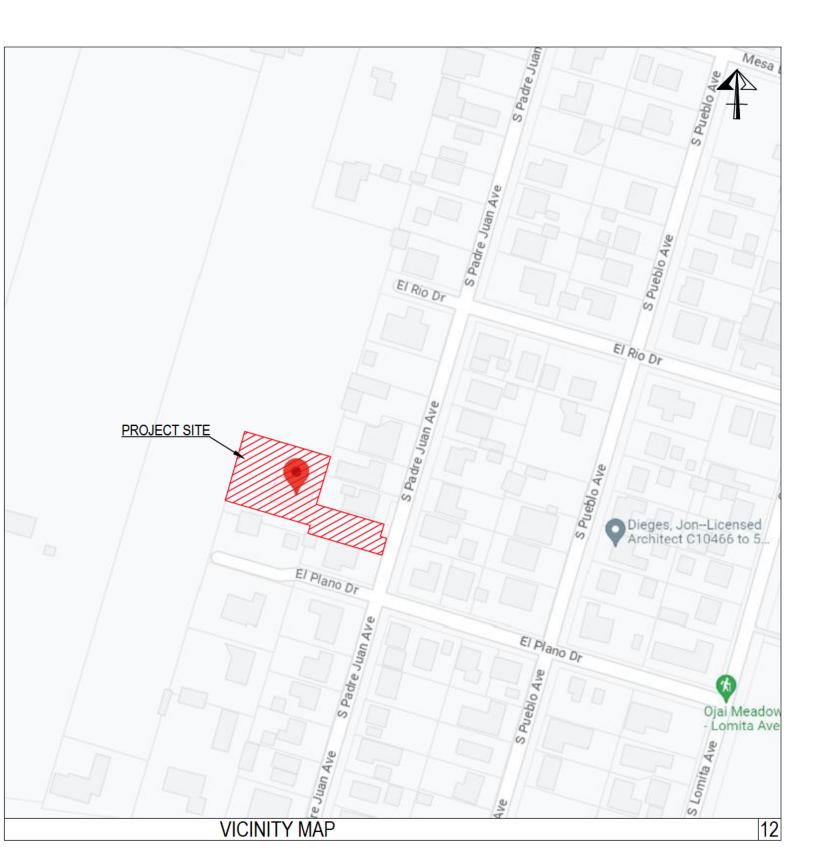
This checklist is designed to facilitate a smooth permitting process for NOMAD Home units. By adhering to these guidelines, professionals can ensure quicker and more efficient approvals, reducing delays for homeowners and builders alike.

- 1. Applications
- □ Universal Planning Application □ Building Permit Application
- 2. Title Block (On all sheets)
- ☐ Area for the design professional to sign (if required)
- ☐ Contact details for NOMAD Housing ☐ Area for property-specific details
- □ Scale on all drawings
- 3. Fillable Cover Sheets
- □ Occupancy and Type of Construction
- ☐ Fire Safety Features (e.g., fire sprinklers) ☐ Gross Area
- □ Lot Coverage Calculation (if relevant)
- □ Index of Drawings
- □ Environmental and Geographical Notes
- 4. Architectural Plans
- ☐ Architectural floor plan with dimensions
- ☐ Architectural roof plan ☐ Exterior elevations with colour and material details
- Structural Plans ☐ Standardized Structural Details (if applicable)
- ☐ Site-specific notes (e.g., foundation type based on soil)
- 6. Utility Integration
- □ Utility Hookup Details ☐ Site Preparation Notes
- 7. Energy Efficiency and Environmental Compliance
- ☐ Energy Compliance Details and Forms (if required) ☐ Environmental Compliance Notes and Checklists (based on local
- requirements)



01 SITE PLAN





TYPE V-B (METAL FRAME, NON-RATED) CONSTRUCTION TYPE: EXISTING HOUSE 2,147.83 F2 (199.54 M2) 468.12 F2 (43.49 M2) NEW ADU: TOTAL LIVEABLE FLOOR AREA: 2,615.95 F2 (243.03 M2) % LOT COVERAGE PROJECT INFORMATION A001 COVER SHEET / PLOT PLAN / VICINITY MAP / GENERAL NOTES A100 FLOOR PLANS A101 FLOOR PLANS A200 BUILDING ELEVATIONS A300 BUILDING SECTIONS A301 BUILDING DETAILS A400 DOOR & WINDOW SCHEDULES A401 ELECTRICAL DRAWINGS SHEET INDEX 2 UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES SHOW ON THE CONTRACT DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONTRACT DRAWINGS AND OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF NOMAD OT THE ENGINEER BEFORE PROCEEDING WITH ANY WORK 3. THE CONTRACTOR SHALL VERIFY ALL JOB SITE CONDITIONS AND RELATED DIMENSIONS. 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE LATEST EDITION CITY 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND THE SAFETY IN AND AROUND THE JOB SITE AND OF ADJACENT PROPERTIES. 6. CONTRACTOR AND OWNER SHALL KEEP LOADS ON THE STRUCTURE WITHIN THE

347 SOUTH PADRE JUAN AVENUE, OJAI, CA, USA

CONSTRUCT AN ACCESSORY DWELLING UNIT (ADU)

25,825.1 F2 (2,399.23 M2)

SINGLE FAMILY DWELLING

**GENERAL NOTES 3** 

THE BMP'S PRIOR TO ANY GRADING, BUILDING PAD PREPARATION, OR

LIMITS OF THE DESIGN BOTH DURING AND AFTER CONSTRUCTION.

3. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND

MADE AND ENFORCED BY THE GENERAL CONTRACTOR.

DIMENSIONS PRIOR TO CONSTRUCTION.

BETWEEN OCTOBER 1ST AND JUNE 1ST.

. COMPLIANCE WITH CODES AND ORDINANCES GOVERNING THE WORK SHALL BE

10. MANUFACTURER'S SPECIFICATIONS FOR INSTALLATIONS OF MATERIALS SHALL BE

. WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE

INVOLVED AND THE GENERAL CONTRACTOR SHALL COORDINATED THE WORK OF THE VARIOUS TRADES TO EXPEDITE THE JOB IN A SMOOTH AND CONTINUOUS

2. CONTRACTOR IS REQUIRED TO CALL FOR AN INSPECTION OF THE PLACEMENT OF

EXCAVATIONS OF FOOTINGS, OR OTHER SITE WORK, IF THE WORK TAKES PLACE

• 2019 CALIFORNIA BUILDING CODE. • 2019 CALIFORNIA RESIDENTIAL CODE

SITE ADDRESS:

LOT/PARCEL AREA:

PROPERTY TYPE:

SCOPE OF WORK:

• 2019 CALIFORNIA MECHANICAL CODE

 2019 CALIFORNIA PLUMBING CODE • 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA ENERGY CODE

 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE. • ALL OTHER APPLICABLE LOCAL CODES AND ORDINANCES.

APPLICABLE CODES THE FOLLOWING FEATURES MUST BE FIELD-VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING THE MODELED ENERGY REQUIREMENT: BUILDING LEVEL VERIFICATION: INDOOR AIR QUALITY VENTILATION AND KITCHEN

COOLING SYSTEM VERIFICATIONS: MINIMUM AIRFLOW, VERIFIED SEER AND FAN FFFICACY WATTS/CFM HVAC DISTRIBUTION SYSTEM VERIFICATION: DUCT LEAKAGE TESTING.

FOR PROPERTY WITHIN A STATE/LOCAL RESPONSIBILITY AREA, WITH A MODERATE FIRE HAZARD SEVERITY, PLEASE ENSURE ALL MATERIALS USED SHALL COMPLY WITH CRC SECTION R337 REQUIREMENTS FOR EXPOSURE TO WILDFIRE. THE EXTERIOR OF THE STRUCTURE BE IGNITION-RESISTANT AND BE ABLE TO RESIST THE ENTRY OF FLYING EMBERS AND FIRE RADIATION DURING A WILDFIRE.

ALL EXTERIOR CONSTRUCTION MUST COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS CRC 337 (ATTACHED) DEFERRED SUBMITTALS:

NOTE: "THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE BUILDING DIVISION HAS APPROVED THEIR DESIGN AND SUBMITTAL DOCUMENTS." (CBC 107.3.4.1)

- VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY
- VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS
- VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING
- PLACEMENT AND COMPACTION OF COMPACTED FILL PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY
- SPECIAL INSPECTIONS HAVE BEEN PERFORMED BY:

THAT SITE HAS BEEN PREPARED PROPERLY

- 7/8/20 CONCRETE & ANCHOR BOLT TESTING CONCRETE TESTING REPORT DATED REB ENGINEERING, INC PO BOX 113 SAINT HELENA, CA, 94574 707-963-8638
- SOILS REPORT, PROJECT 187, 7/14/2021 JIM GLOMB GEOTECHNICAL AND ENVIRONMENTAL CONSULTING 152 WEEKS WAY SEBASTOPOL, CA, 95472 707-237-2703

## DEFERRED SUBMITTALS

## FIRE COMMENTS:

PLEASE NOTE ALL BUILDINGS SHALL HAVE A PERMANENTLY POSTED ADDRESS, WHICH SHALL BE PLACED ON BUILDING AND SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROAD ON WHICH THE ADDRESS IS LOCATED OR THE PRIMARY DRIVEWAY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. SONOMA COUNTY FIRE STANDARDS SEC. 13-48.

A. ALL BUILDINGS SHALL HAVE A PERMANENTLY POSTED ADDRESS, WHICH SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD ON WHICH THE ADDRESS

EXCEPTION: AN APPROVED INTERNALLY LIGHTED BUILDING ADDRESS DEVICE MAY BE JSED WHEN SUCH BUILDING ADDRESS DEVICE IS LOCATED ON THE BUILDING AND THE BUILDING IS LOCATED WITHIN THIRTY FEET (30' OF THE EDGE OF THE ROAD ON WHICH THE ADDRESS IS LOCATED.

. ALL ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH THE INTENDED DIRECTION OF TRAVEL AND THE OPPOSITE DIRECTION.

WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, SUCH ADDRESSES SHALL BE MOUNTED ON A SINGLE APPROVED POST. WHERE A ROAD PROVIDES ACCESS SOLELY TO A COMMERCIAL BUILDING, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THE SITE.



info@nomadmicrohomes.com

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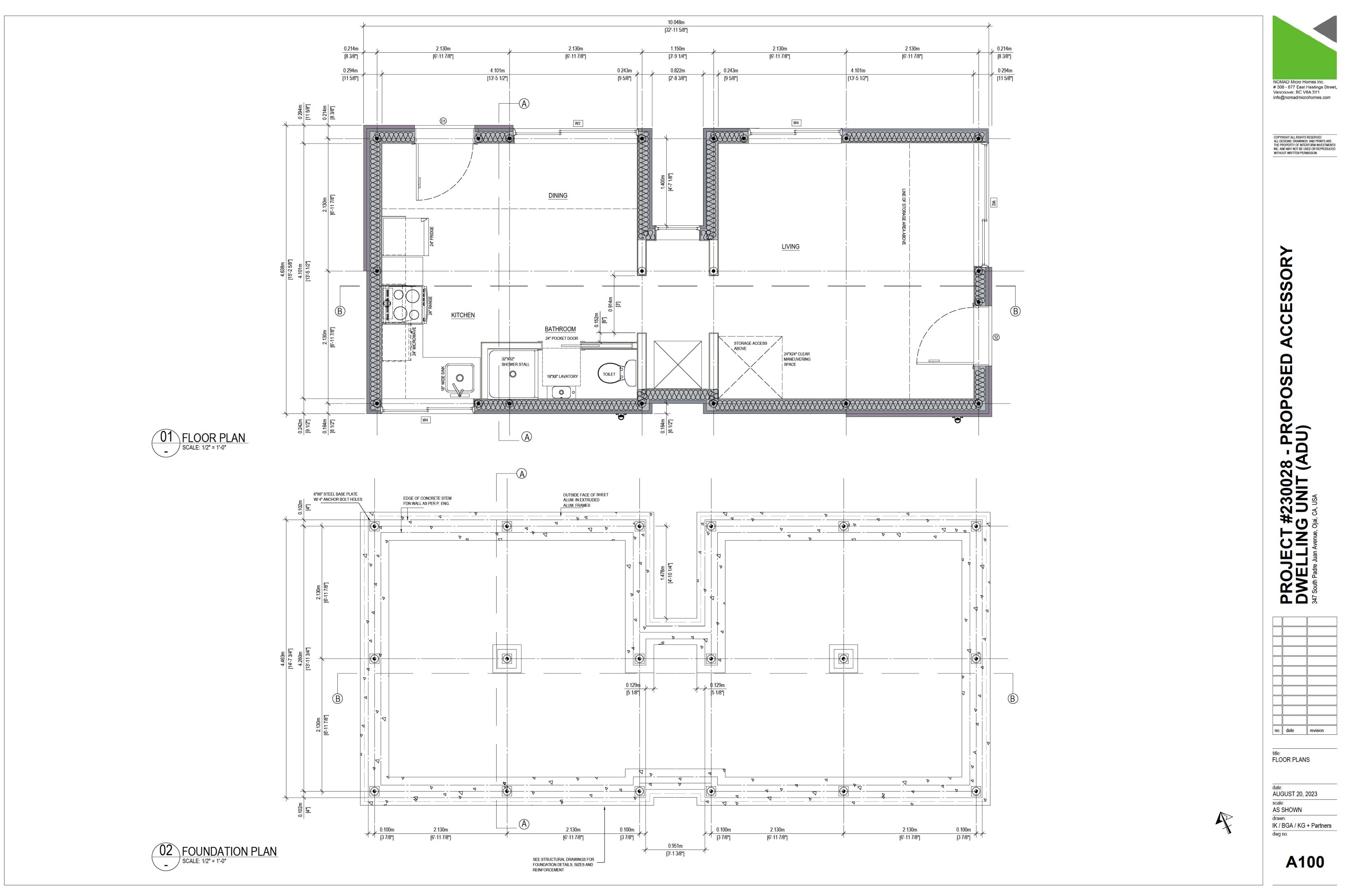
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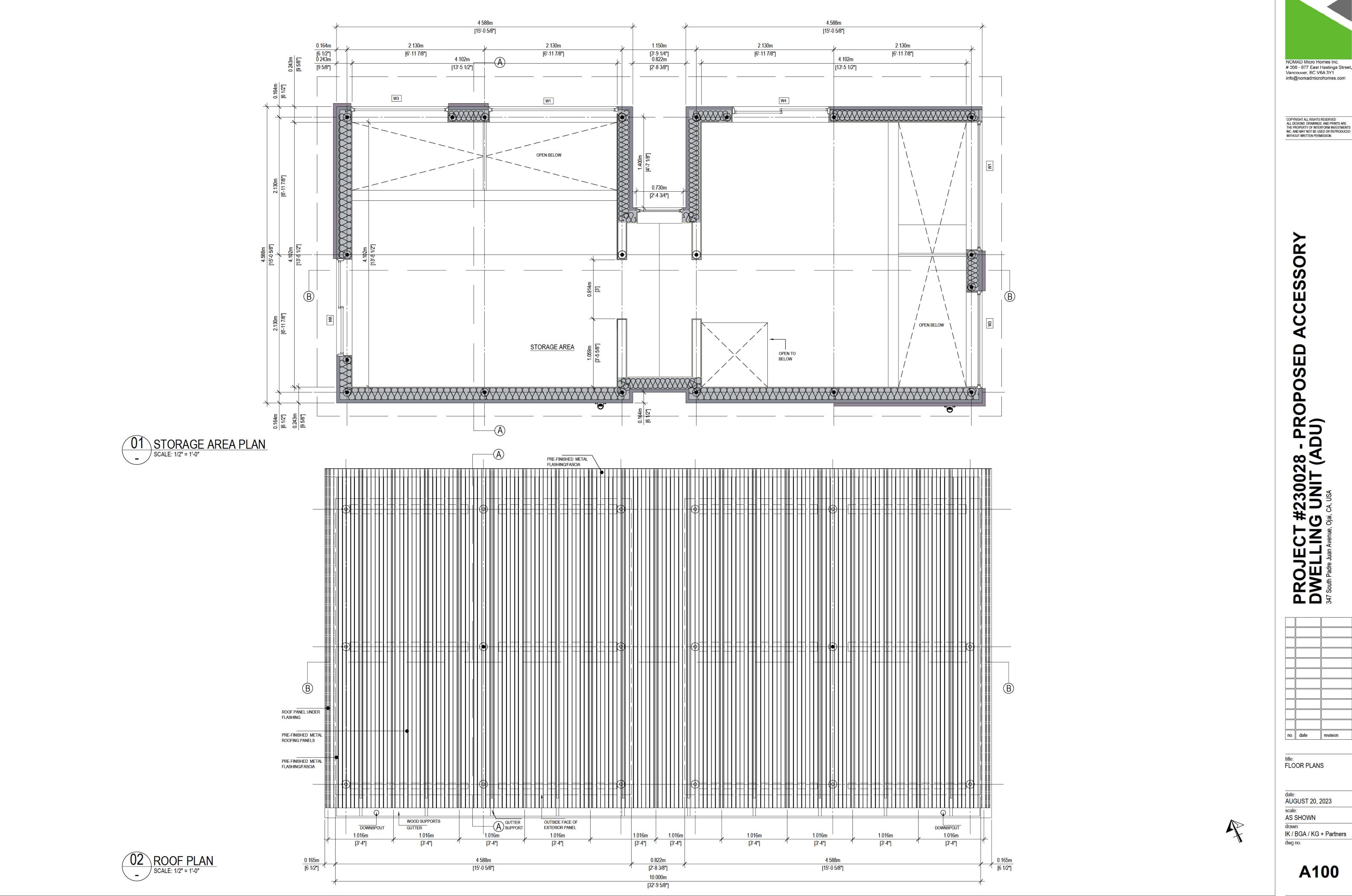
SITE PLAN

AS SHOWN

AUGUST 20, 2023

IK / BGA / KG + Partners

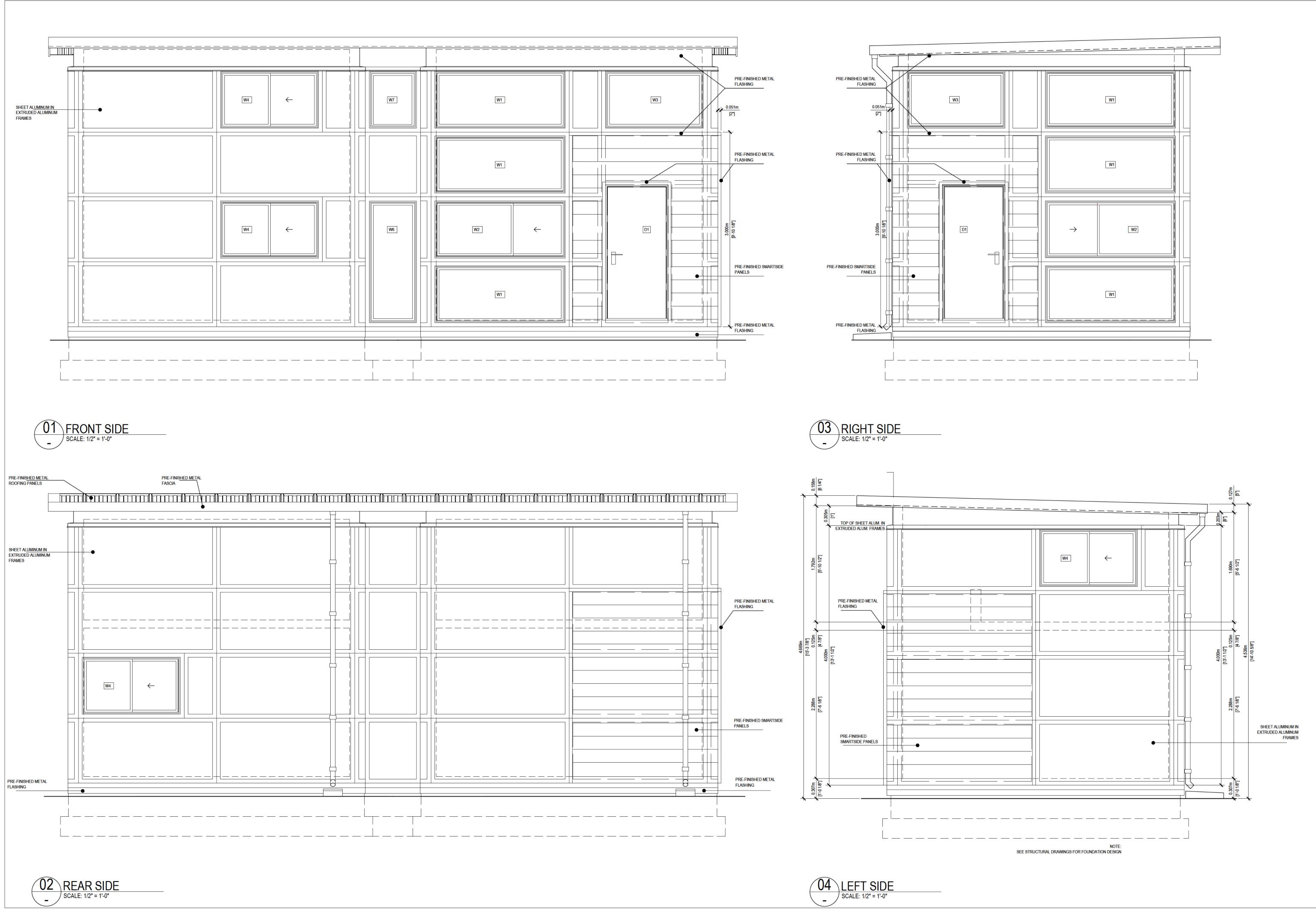






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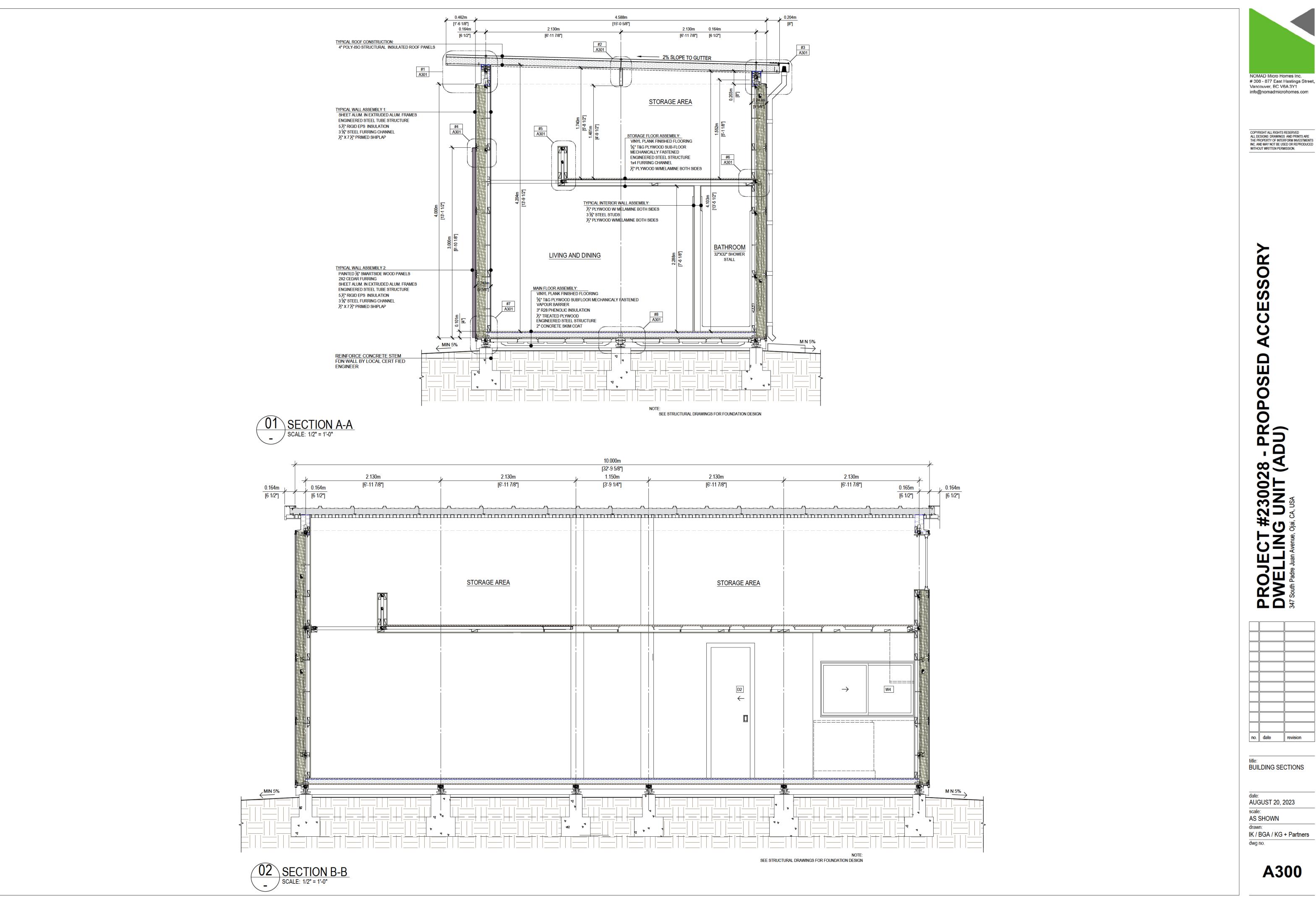
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SORY PROJECT #230028 - PROPOSED DWELLING UNIT (ADU)

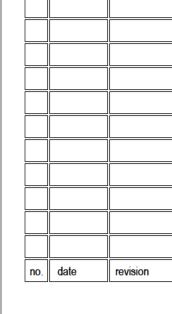
no. date revision

EXTERIOR ELEVATIONS

AUGUST 20, 2023 AS SHOWN IK / BGA / KG + Partners



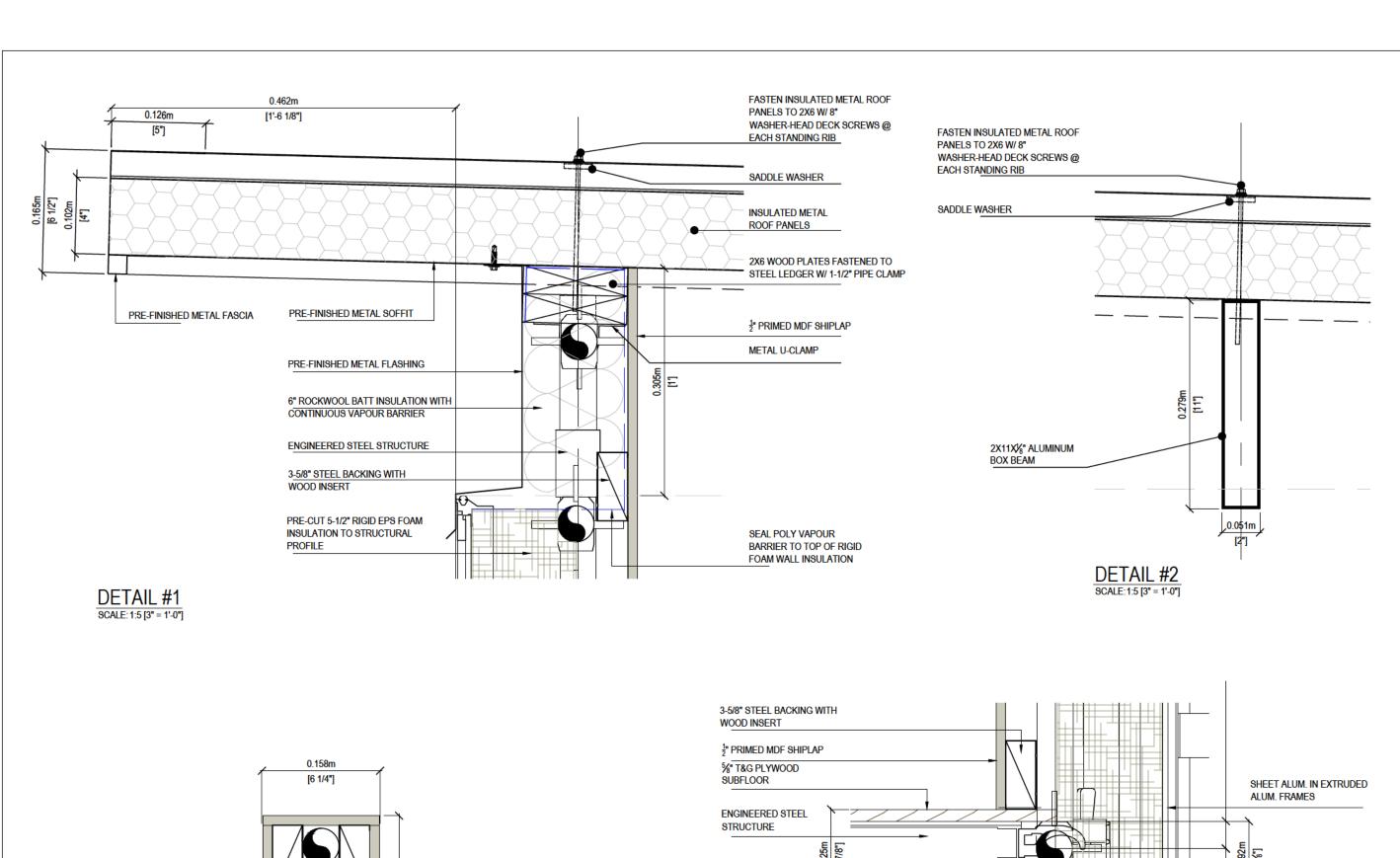
PROJECT #230028 DWELLING UNIT (/



BUILDING SECTIONS

AUGUST 20, 2023 scale: AS SHOWN

IK / BGA / KG + Partners



1 PRIMED MDF SHIPLAP

3-5/8" STEEL BACKING WITH

1 PRIMED MDF SHIPLAP

WOOD INSERT

1 PRIMED MDF SHIPLAP

WOOD INSERT

3-5/8" STEEL BACKING WITH

5" T&G PLYWOOD SUBFLOOR

<sup>1</sup>/<sub>2</sub>" PLYWOOD MELAMINE

3-5/8" STEEL BACKING WITH

WOOD INSERT

1" PRIMED MDF SHIPLAP

ENGINEERED STEEL STRUCTURE

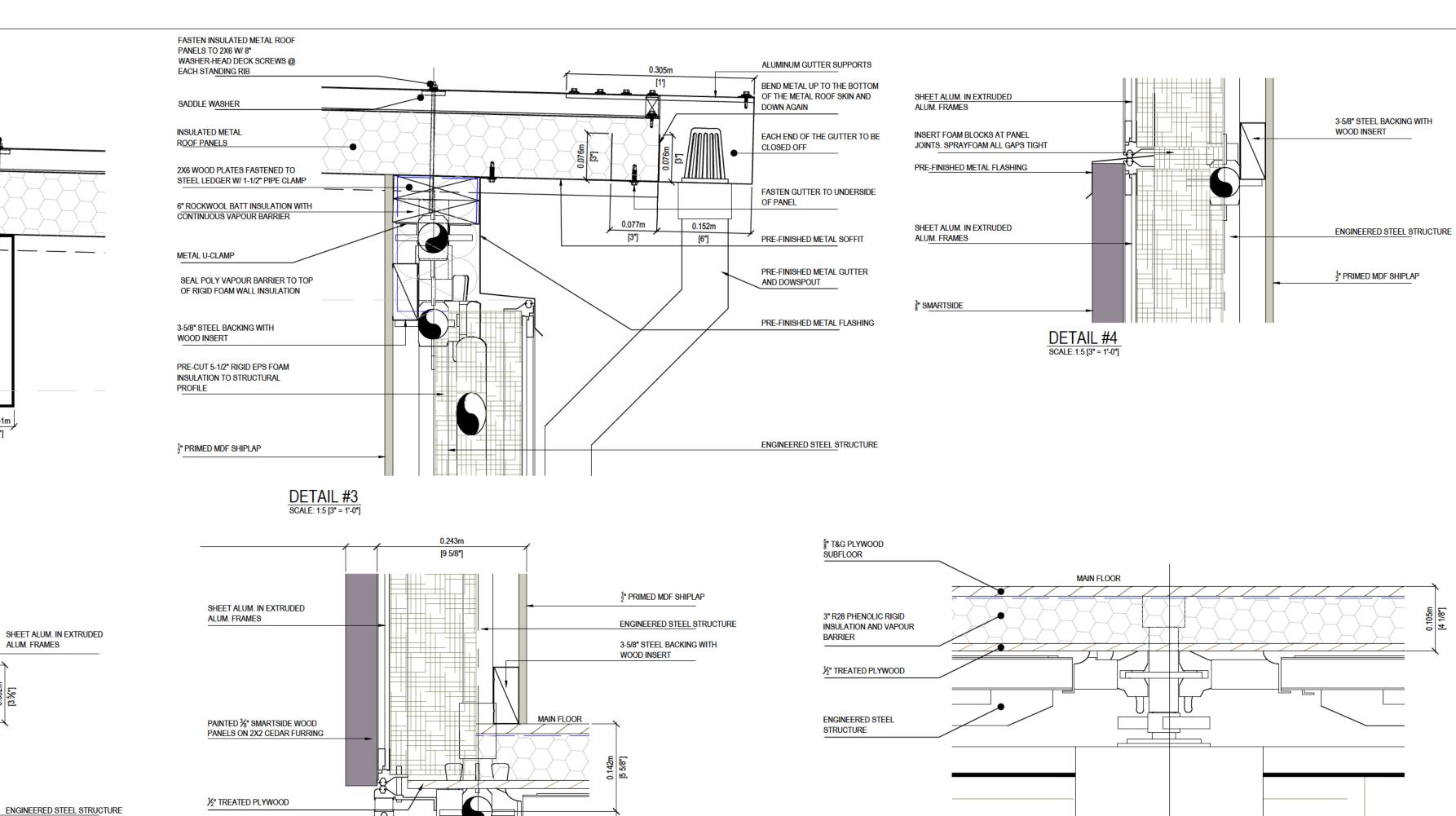
3-5/8" STEEL BACKING WITH

EXPOSED ENGINEERED STEEL

DETAIL #5 SCALE: 1:5 [3" = 1'-0"]

BRACE - PAINTED

WOOD INSERT



ENGINEERED STEEL STRUCTURE

ENGINEERED CONCRETE
FOUNDATION - SEE STRUCTURAL

PRE-FINISHED METAL FLASHING

DETAIL #7 SCALE: 1:5 [3" = 1'-0"] DETAIL #8
SCALE: 1:5 [3" = 1'-0"]



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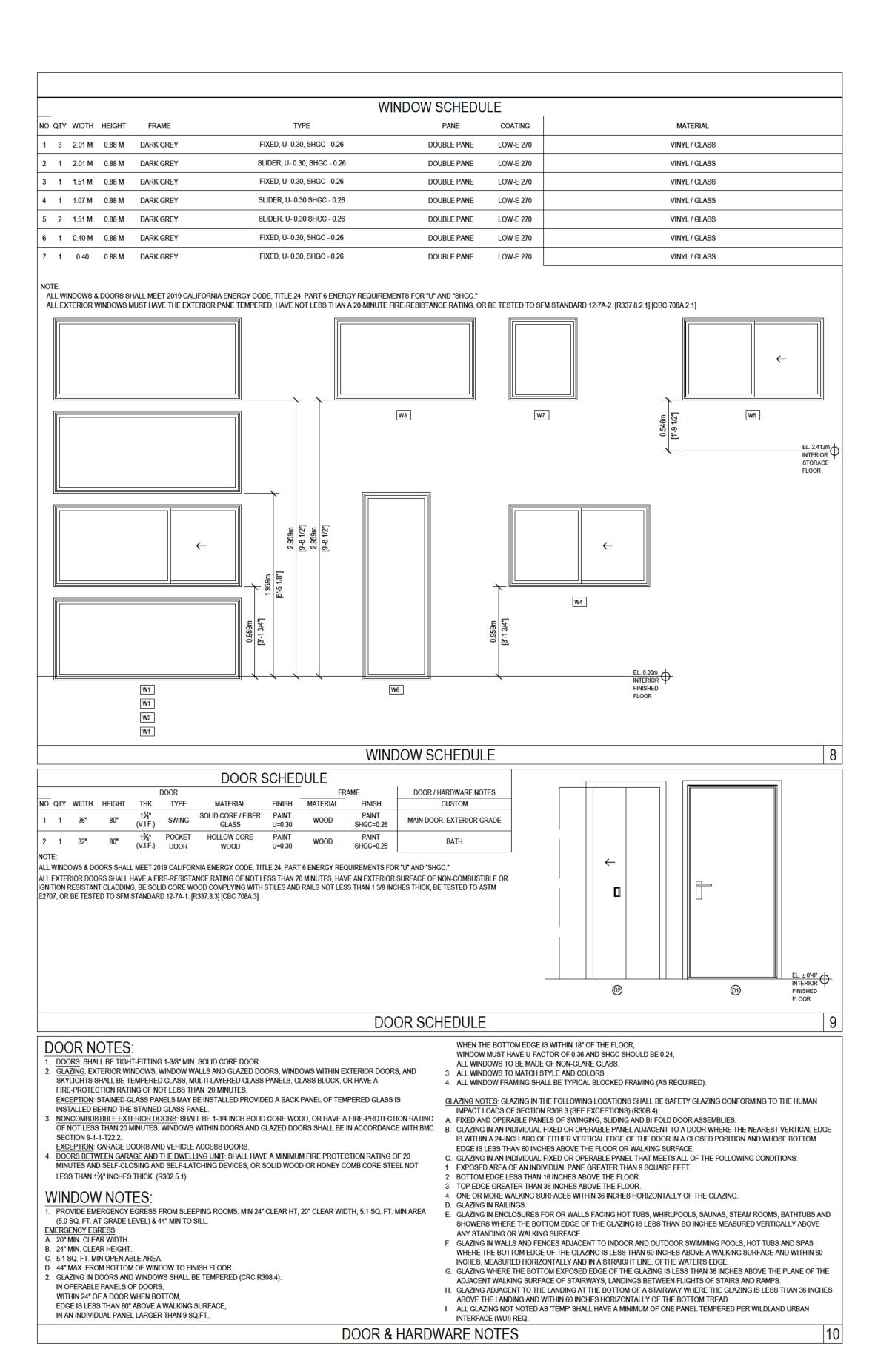
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ELECTRICAL PLAN LEGEND LIGHT FIXTURES PLAN LEGEND SCREW BASED LUMINARIES MUST BE CONTAIN JA8 COMPLAINT LIGHT SOURCES. DUPLEX CONVENIENCE OUTLET RECESSED DOWNLIGHT LUMINARIES IN CEILING MUST NOT CONTAIN SCREW-BASED SOCKETS. (WALL OUTLET) 110V 4" LOW-VOLTAGE RECESSED CLOSET LIGHT —■ PUSH BUTTON INCANDESCENT SOURCES ARE PROHIBITED FROM HAVING A GU-24 BASE (PER TITLE 20 SECTION 1605.3(K). BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS §150.0(K)2. 6" LOW-VOLTAGE CEILING LIGHT - RECESSED SWITCHED OUTLET □ TELEVISION JACK AT LEAST ONE FIXTURE MUST BE CONTROLLED BY A VACANCY SENSOR. UNDER CABINET LIGHTING §150.0(K)2L INTERIOR DECORATIVE WALL SCONCE. ANY UNDER CABINET LIGHTING (INCLUDING KITCHEN) MUST BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEM. OUTDOOR LIGHTING §150.0(K)3 GRUUND-170C.
INTERRUPTER 110V GROUND-FAULT CIRCUIT-OUTDOOR DECORATIVE WALL SCONCE. COMPUTER JACK MUST BE LIGHT EFFICACY LIKE INDOOR LIGHTING. WEATHERPROOF CONVENIENCE OUTLET MUST INCLUDE MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING: LIGHT HIGH EFFICACY UIGHT W/ VACANCY SENSOR MISCELLANEOUS \$ SINGLE POLE LIGHT SWITCH LIGHT W/ MOTION SENSOR PHOTOCONTROL COMBO AND PHOTOCELL EP 200 AMP ELECTRICAL PANEL BOARD \$3 3-WAY LIGHT SWITCH LED STRIP LINE © NATURAL GAS SUPPLY Ş□ DIMMER SWITCH 110V CARBON MONOXIDE & SMOKE DETECTOR HVAC SYSTEM EXHAUST FAN AND HEATER WITH LIGHT COMBO HEAT REGISTER HW WATER HEATING

**ELECTRICAL NOTES:** 

BEDROOM, HALL LEADING TO BED ROOMS.

TABLE 150.0-A ELEC CODE

LIGHT SOURCES IN THIS COLUMN OTHER THAN

COMPLY WITH REFERENCE JOINT APPENDIX JA8

USING ELECTRONIC BALLASTS.

3. HIGH PRESSURE SODIUM.

INDUCTION LAMP.

HIGH EFFICACY LIGHT SOURCES

TO TOP OF BOX, PLUG

1. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN AND INSTALLATION.

3. LAUNDRY & KITCHEN: AFCI PROTECTED, WASHER & DISH WASHER GFCI PROTECTED

4. UFER GROUND-#4 BARE COPPER 20' LONG CONNECTED TO REBAR.

11. DISHWASHER AND DISPOSAL NEED SEPARATE 15 AMP CIRCUITS.

THOSE INSTALLED IN CEILING RECESSED DOWNLIGHT LUMINAIRES

. PIN-BASED LINEAR OR COMPACT FLUORESCENT LIGHT SOURCES

ARE CLASSIFIED AS HIGH EFFICACY AND ARE NOT REQUIRED TO

4. GU-24 SOCKETS CONTAINING LIGHT SOURCES OTHER THAN

13. PROVIDE 2 SEPARATE 20 AMP CIRCUITS FOR KITCHEN SMALL APPLIANCE

LIBRARY, BED RM., REC. RM. ETc. FAMILY RM., DINNING.

5. GARAGE, ONE GFCI RECPT. EACH CAR, PREP FOR ELECTRIC CAR CHARGER.

ONE RECEPTACLE TO BE INSTALLED WITHIN 50' OF ALL SERVICE EQUIPMENT.

7. ALL EXTERIOR RECEPTACLES TO HAVE EXTRA DUTY RATED IN USE COVERS.

8. EQUIPMENT GROUND CONDUCTOR REQUIRED IN ALL OUTDOOR HVAC EQUIPMENT.

2. ELECTRICAL SWITCHES AND CONTROLS SHALL BE MOUNTED AT: SWITCHES 48" OUTLETS 15" TO TOP OF BOX.

9. SMOKE ALARMS: NOT LESS THAN 3' FROM BATHROOM DOOR, 3' FROM TIP OF 20, FROM KITCHEN, EACH

12. PROVIDE AFCI PROTECTED/TAMPER RESISTANT OUTLETS IN EVERY KITCHEN, RM., LIVING RM., PARLOR,

10. CARBON MONOXIDE ALARMS: OUTSIDE OF EACH BEDROOM, EACH FLOORM WHERE EVER A FUEL BURNING

APPLIANCE IS LOCATED. ALL SMOKE AND CARBON MONOXIDE ALARMS TO BE HARD WIRED AND BATTERY

ONLY LUMINAIRES INSTALLED WITH THE LIGHT SOURCES LISTED IN THIS TABLE SHALL BE CLASSIFIED AS HIGH EFFICACY.

LUMINAIRES WITH HARDWIRED HIGH FREQUENCY GENERATOR AND 9. GU-24 SOCKETS CONTAINING LED LIGHT SOURCES.

GU-24 SOCKETS CONTAINING LIGHT SOURCES SUCH AS COMPACT FLUORESCENT LAMPS AND INDUCTION LAMPS. CALIFORNIA TITLE 20 SECTION 1605.3(K)4 DOES NOT ALLOW INCANDESCENT SOURCES TO HAVE A GU-24 BASE

LIGHT SOURCES IN THIS COLUMN SHALL BE CERTIFIED TO THE

6. INSEPARABLE SSL LUMINAIRES THAT ARE INSTALLED OUTDOORS.

. INSEPARABLE SSL LUMINAIRES CONTAINING COLORED LIGHT

SOURCES THAT ARE INSTALLED TO PROVIDE DECORATIVE

NOT HAVE SCREW BASES REGARDLESS OF LAMP TYPE AS

10. ANY LIGHT SOURCE NOT OTHERWISE LISTED IN THIS TABLE AND CERTIFIED TO THE COMMISSION AS COMPLYING WITH JOINT

B. ALL LIGHT SOURCES IN CEILING RECESSED DOWNLIGHT LUMINAIRES. NOTE THAT CEILING RECESSED DOWNLIGHTS SHALL

14. BATHROOM: ONE 20 AMP CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER CIRCUITS. 15. ALL LIGHTING TO BE L.E.D. LAMPS OUTLETS.

16. ALL OUTDOOR LIGHTING TO BE L.E.D. AND MOTION SENSOR OR PHOTOCELL.

17. ROMEX STAPLED 8" FROM EVERY PLASTIC BOX, ONLY TWO WIRES UNDER 18. MANUAL ON/OFF VACANCY SENSOR SWITCHES FOR GARAGE, BATHS, LAUNDRY, STAPLES AND FANS. BATH

PHOTO-CONTROL AND MOTION SENSOR

ASTRONOMICAL TIME SWITCH CONTROL

ENERGY MANAGEMENT CONTROL SYSTEM

PHOTO-CONTROL AND AUTOMATIC TIME SWITCH CONTROL

LIGHT AND FAN TO BE SWITCHED SEPARATELY. CLOSET LIGHTING 19. All BEDROOMS, LIVING ROOMS, BATH ROOMS, HALLWAYS, KITCHENS TO HAVE CONTROLS. DIMMABLE

20. ALL LIGHTING, HOT WATER HEATER, AND HVAC SHALL COMPLY WITH 2019 TITLE 24 ENERGY MANDATORY

MEASURES & CERTIFICATE COMPLIANCE SUBMITTED WITH THIS PROJECT 21. ALL 120-VOLT 15 AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS,

RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS TO HAVE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION. 2019 CEC 210.12A 22. ALL RECEPTACLE OUTLETS REQUIRED BY 2019 CEC 210.52 TO BE TAMPER-RESISTANT RECEPTACLES. 2019

23. THE RECEPTACLE OUTLETS PROVIDED AT THE KITCHEN COUNTERS, KITCHEN ISLAND COUNTER, AND

BATHROOMS TO HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION. 2019 CEC 210.8(A)(6) 24. GFCI PROTECTION REQUIRED ON ALL DISHWASHERS IN DWELLING UNITS. 2019 CEC 210.8(D). 25. ALL BATHROOMS WITH A TUB, SHOWER OR TUB/SHOWER TO HAVE MECHANICAL VENTILATION FOR HUMIDITY

BUILDING STANDARDS CODE 4.506.1 26. MINIMUM 50 CFM VENTILATION REQUIRED PER 2019 CMC AND TITLE 24.

KITCHEN NOTES:

ARC FAULT CIRCUIT INTERRUPTER (AFCI)

PROTECTION SHALL BE PROVIDED FOR ALL

120 VOLT, SINGLE PHASE, 15 AND 20 AMP

KITCHENS, FAMILY ROOMS, DINING ROOMS,

BEDROOMS, SUNROOMS, RECREATION

AREAS, OR SIMILAR ROOMS. CEC 210.12

AT LEAST HALF THE INSTALLED WATTAGE

HIGH EFFICACY AND THE ONES THAT ARE

NOT MUST BE SWITCHED SEPARATELY

BE SPACED @ 24" O.C. MAX.

CONTROL REGARDLESS OF HAVING NATURAL VENTILATION. THE FAN SHALL BE CONTROLLED BY A HUMIDITY

CONTROL UNLESS PART OF A WHOLE HOUSE VENTILATION SYSTEM. 2019 CRC R303.3.1 AND CALIF. GREEN

OUTLETS @ KITCHEN COUNTERS SHALL

OF LUMINARIES IN KITCHENS SHALL BE

ROOMS, CLOSETS, HALLWAYS LAUNDRY

LIVING ROOMS, PARLORS, LIBRARIES, DENS,

OUTLETS OR DEVICES INSTALLED IN

## **ENERGY CODE NOTES**

1. ALL LIGHTING MUST BE HIGH EFFICACY PER TABLE 150.0-A BELOW

2. ALL LIGHTING THAT QUALIFIES AS HIGH EFFICACY PER JA8 MUST BE CONTROLLED BY A DIMMER OR VACANCY

3. ALL RECESSED LIGHTS MUST BE AIR TIGHT, IC RATED AND CERTIFIED BY JA8-2019-E FOR ELEVATED TEMPERATURE AND CONTROLLED BY A DIMMER OR VACANCY SENSOR

4. AT LEAST ONE LIGHT LOCATED IN A BATHROOM, LAUNDRY ROOM, UTILITY ROOM AND GARAGE MUST BE

CONTROLLED BY A VACANCY SENSOR 5. BLANK ELECTRICAL BOXES >5' ABOVE THE FLOOR MUST BE CONTROLLED BY A DIMMER, VACANCY SENSOR OR FAN CONTROL SWITCH. THE QUANTITY OF BLANK ELECTRICAL BOXES IS LIMITED TO NO MORE THAN THE

NUMBER OF BEDROOMS 6. EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING

7. ALL OUTDOOR LIGHTING PERMANENTLY ATTACHED TO THE BUILDING MUST BE HIGH EFFICACY PER TABLE 150.0-A BELOW AND CONTROLLED BY A MANUAL AND ON-OFF SWITCH, MOTION CONTROL PHOTO-CONTROL

8. ILLUMINATED ADDRESS SIGNS SHALL BE 5 WATTS OR LESS

GEN ELEC / MECH. NOTES:

SPECIFY ALL 120-VOLT 15 AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, LIVING ROOMS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREAS TO HAVE ARC-FAULT CIRCUIT-INTERRUPTION PROTECTION. 2019 CEC 210.12(A). PROVIDE A MINIMUM OF ONE 20-AMP BRANCH CIRCUIT FOR LAUNDRY RECEPTACLE OUTLETS. BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20 AMP BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. LIGHT FIXTURES IN BATH TUB OR SHOWER ENCLOSURES, ROOFED OPEN PORCHES, AND INT. LOCATIONS SUBJECT TO A MODERATE DEGREE OF MOISTURE SHALL BE MARKED "SUITABLE FOR DAMP LOCATIONS". SPA TUBS & ASSOCIATED ELEC. COMPONENTS SHALL HAVE GFCI PROTECTION. ALL 125 VOLT RECEPTACLES WITHIN 10' OF THE INSIDE WALLS OF THE TUB SHALL HAVE GFCI PROTECTION. FLOOR MOUNTED ELEC. RECEPTACLES TO BE SPECIFICALLY LISTED FOR THIS APPLICATION. W/H SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZ. DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING

SHALL BE AT POINTS WITH IN THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF THE VERT. DIMENSIONS. AT THE LOWER POINT, A MINIMUM OF 4" SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING. UNITS SHALL BE SECURED BY 1 1/2"x16 GAUGE STRAPS W/ 5/16" X 3" LAG SCREWS ANCHORED INTO WALL FRAMING WATER HEATER FIRST HOUR RATING SHALL COMPLY W/CPC TABLE 5-1 & HAVE A RATING OF 80.

SEE TITLE 24 REPORT FOR F.A.U. & W/H MAKE, MODEL & MINIMUM EFFICIENCIES. ALL HVAC EQUIPMENT SHALL BE INSTALLED PER MANUF. SPECIFICATIONS.

COMMISSION AS HIGH EFFICACY LIGHT SOURCES IN ACCORDANCE WITH REFERENCE JOINT APPENDIX JA8 AND BE MARKED AS MEETING

ELECTRICAL / MECHANICAL PLAN, NOTES & LEGEND

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Vancouver, BC V6A 3Y1 info@nomadmicrohomes.com

no.	date	revision

**ELECT/MECH &** SHEDULES

AUGUST 20, 2023 scale:

AS SHOWN

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Page 26 of 31

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PROJECT #230028 - PROPOSED ACCESSORY

DWELLING UNIT (ADU)

347 South Padre Juan Avenue, Ojai, CA, USA

no. date revision

title: ELECT/MECH & SHEDULES

date:
AUGUST 20, 2023
scale:
AS SHOWN
drawn:
IK / BGA / KG + Partners
dwg no.



## Parcel Report

### **Parcel Information**

APN	017019111
APN	0
Suffix	
Document	20151125
Date	
Document	150172385
Number	
Tract	
Number	
Мар	
Number	
Situs	
Number	
Situs	S
Direction	3
Situs	PADRE JUAN
Street	I ADILE JOAN
Situs	AV
Suffix	Αν
Acroage	0.13
Acreage	0.13



### **Cities**

### **City Boundary**

No

### **Election Precincts**

### **Election Precinct**

Number: Meiners Oaks 1-001

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## Parcel Report

### **Political Districts**

**Assembly Districts** 

Name: Stephen Anthony Bennett

Ordinal: 38th

**Senatorial Districts** 

Name: S Monique Limon

Ordinal: 21st

**Congressional Districts** 

Name: Salud Carbajal

Ordinal: 24th

**Supervisorial Districts** 

Name: Matt Lavere

Ordinal: 1st

### **School Districts**

**Elementary School Districts** 

Name: OJAI UNIFIED

**Secondary School Districts** 

Name: OJAI UNIFIED

### **Land Use**

### **County SOAR**

No

### 2020 County Designated Places

Name: Meiners Oaks CDP

**General Plan** 

Description: Very Low Density Residential

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## Parcel Report

**Overlay Zones** 

Name: Temporary Rental Units
Name: Ojai Valley Dark Sky

**Zone Designation** 

Zoning: R1-10,000 sq ft/TRU/DKS

**Area Plan Land Use Designations** 

Designation: Urban Residential 4-6 DU/AC

**Area Plan Boundaries** 

Name: Ojai Valley

### Hazards

### **Earthquake Fault Hazard Zones**

Nο

### Liquefaction

No

### **Military Operations Areas**

No

### **Tsunami Inundation**

No

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