



New Meters, Allocations & Expansion of Services Committee Agenda

Thursday, October 5 2023 at 10:00 a.m.

202 W. El Roblar Drive, Ojai, CA 93023

Please join my meeting from your computer, tablet or smartphone.

<https://meet.goto.com/685921773>

You can also dial in using your phone.

United States (Toll Free): 1 877 309 2073

Access Code: 685-921-773

Right to be heard: Members of the public have a right to address the Board directly on any item of interest to the public that is within the subject matter jurisdiction of the Board, provided that no action shall be taken on any item not appearing on the agenda unless the action is otherwise authorized by subdivision (b) of Section 54954.2.

Please Note: If you have comments on a specific agenda item(s), please fill out a comment card and return it to the Board Secretary. The Board President will call on you for your comments at the appropriate time, either before or during the Board's consideration of that item.

If you require special accommodations for attendance at or participation in this meeting, please notify our office 24 hours in advance at (805) 646-2114

(Govt. Code Section 94594.1 and 94594.2 (a))

A. Call To Order

B. Public Comments

C. Discussion Items:

- a. Status update on MOWD-CMWD Allocation Purchase process.
- b. Will-Serve Letter Requests
 - i. 165 S. Alvarado – New 748 sf ADU, no new meter requested.
 - ii. 234 & 246 S. Padre Juan – post construction variable allocation adjustment.

D. Adjourn

Review of Application for Will Serve Letter

New 748 sqft ADU for Property with Existing Meter at 165 S. Alvarado.

Proposal

The proposed project consists of adding a new 748 sqft, 2-bedroom + 2 bathroom ADU. The applicant provided a detailed site plan showing the location of the proposed structure.

Screening Step 1: Is the proposed building site on a legal lot? YES

The applicant provided a copy of a tax assessor parcel map and a subdivision map that indicates a single 0.16-acre parcel. APN: 017-0-132-14.

Screening Step 2. Will the current allocation support an ADU? NO

Allocation Details:

- Allocation Case Identifier: AA-0299
- Allocation Category: 5/8" RES meter, 1 Parcel
- Parcel Size: 0.16 acre
- Current Base Fixed Allocation: 120 HCF/yr
- Current Base Variable Allocation: 99 HCF/yr
- Fixed Base Allocation Needed to Support ADU: 84 HCF/yr
- Deduction from Variable Allocation needed to Support ADU through drought stages: 120 HCF/yr

If the ADU is provided the customary fixed dwelling allocations, the new allocation for this property would be as follows:

- New Base Fixed Allocation: **204 HCF/yr**
- New Base Variable Allocation: **-21 HCF/yr (plus 15 HCF for outside irrigation) = -36 HCF**

Recommendation

If a will-serve letter is to be supplied, it must clearly state:

- *Recommend purchase of at least 36 HCF from Casitas MWD to support ADU and 15 HCF for outside irrigation.*
- Letter applies only to the proposed ADU as described in the applicant-provided preliminary site plan with the filing date of 8-15-2023.
- **There will be no increase in the total (fixed plus variable) water allocation assigned to the meter Will Serve Letter will expire after 1 year.**



Will-Serve/Proof of Service/Meter Request Form

A "Will-Serve" letter may be issued upon the District's completion of an analysis determining that all conditions of approval are met.

Required Attachments:

1. Drawing/sketch of project (with dimensions) ✓
2. Tax Assessors parcel map that includes the subject property. ✓
3. Subdivision map covering the location of the project.*
4. Documentation of existing permitted dwellings on the property.
* Clearly indicate all APNs and legal lots involved in the project. Ensure any markups to county documents do not obscure the underlying information.

Parcel Owner Information:

Account Number: 02- [REDACTED]
Name: [REDACTED]
Mailing Address: [REDACTED]
Phone Number: [REDACTED]
Email Address: [REDACTED]

Applicant Information:

Name: [REDACTED]
Company: [REDACTED]
Mailing Address: [REDACTED] 3003
Phone Number: 805- [REDACTED]
Email Address: [REDACTED]

Project Information:

New Meter Requested: ☐ Yes ☒ No
Assessor's Parcel #(s): 0170132140
Service Address: 165 S Alvarado St.
City, State, Zip code: Ojai, CA 93023
Planning Dept Case #: [REDACTED]
of Existing Dwellings: 1 Date Dwellings Permitted: [REDACTED]

Continued on Next Page

Page 1 of 2



Will-Serve/Proof of Service/Meter Request Form

Type of Construction:☐ New Construction☐ Tenant Improvement☒ ADU☐ Other**Type of Use:**☒ Single Family Res☐ Multi-Family Res (# of dwellings _____)☐ Other**Project Dimensions (sqft):****Detailed Project Description:**

Permits submitted to Ventura County to build a 2bed/2bath 748 sqft ADU. No new meter.

*Please allow a minimum of 60 days to evaluate and process Will-Serve letter and new meter requests.
The time frame will depend on receipt of satisfactory information from the applicant and schedule
of pertinent District Committees and Board of Directors meetings.*

☒ **I acknowledge that MOWD will bill a \$100 Administrative Fee for processing this request.**

Applicant Signature**Date**

SITE PLAN LEGEND

DIRECTION OF DRAINAGE (TYP)

NOTES:

LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FT. (5% SLOPE). WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIER PROHIBIT 6" OF FALL WITHIN 10 FT., DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. SECTION R401.3 CRC.

SERVICE GROUNDING SHALL BE PROVIDED PER CEC ART 250-52 (3) UFER GROUND OR 250-52 (5) GROUND ROD CHANGE OF LOCATION ALSO NEEDS TO BE COORDINATED WITH EDISON.

FINISH GRADE AROUND ADDITION: SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 2% FOR THE FIRST 4'-0".

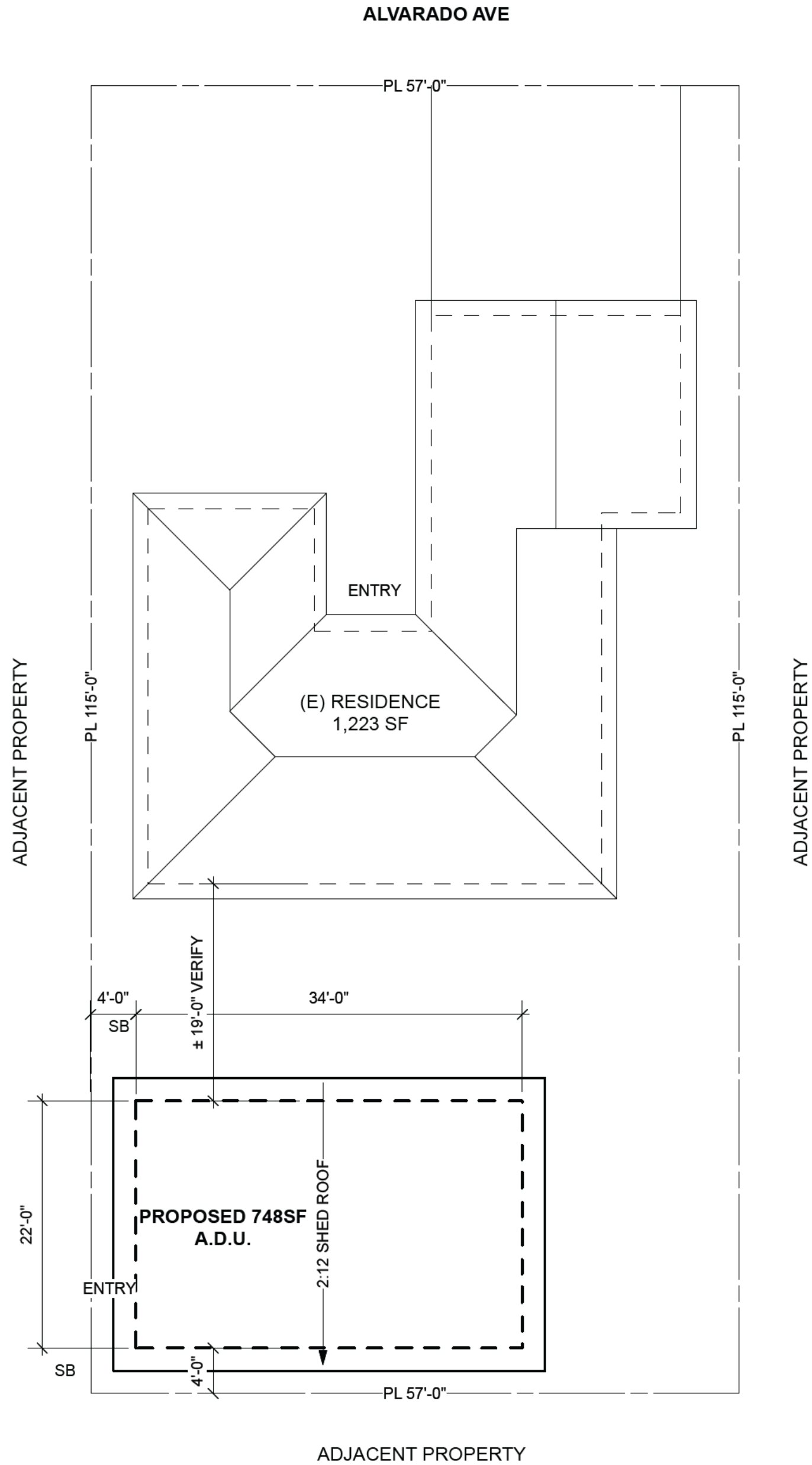
PROVIDE ADDRESS NUMBER PER FIRE DEPT NOTE "B" SHEET A-1.00

UNDERGROUND GAS PIPING SYSTEMS SHALL BE INSTALLED WITH A COVER NOT LESS THAN 12" INCHES. WHERE EXTERNAL DAMAGE IS NOT LIKELY TO RESULT, THE COVER SHALL NOT BE LESS THAN 18" INCHES. (VERIFY WITH AUTHORITY HAVING JURISDICTION PRIOR TO USING THE 12" INCH RULE)

THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM

GROUNDING SHALL BE REQUIRED AND THE ELECTRICAL SERVICE GROUNDING ELECTRODE SHALL BE:

1. OF THE CONCRETE ENCASED TYPE.
2. LOCATED IN THE BOTTOM THREE (3) INCHES OF THE FOOTING.
3. NOT LESS THAN TWENTY (20) FEET IN LENGTH.
4. BARE COPPER CONDUCTOR, SIZED IN ACCORDANCE WITH THIS CODE, TABLE 250.66, BUT NOT SMALLER THAN NO. 4 A.W.G.
5. PANEL LOCATION NEEDS TO BE COORDINATED WITH EDISON CO.



1 SITE / PLAN
1"=10'-0"

BATHROOM NOTES

1. WATER RESISTANT GYPSUM BOARD BACKING IN SHOWER SHALL NOT BE USED ON BATHROOM CEILINGS WHERE FRAMING MEMBER SPACING EXCEEDS 12" O.C.

2. WALL COVERING IN SHOWER SHALL HAVE A SMOOTH HARD NONABSORBANT SURFACE OF CEMENT PLASTER, TILE OR OTHER APPROVED MATERIAL TO A HEIGHT OF NOT LESS THAN 72" ABOVE DRAIN OUTLET.

3. PROVIDE 2X6 STUDS AT PLUMBING WALLFOR 3 DIA. OR LARGER PIPES RUNNING THROUGH STUDS.

4. EACH SINK, LAV, BATHTUB AND SHOWER SHALL BE EQUIPPED WITH HOT AND COLD RUNNING WATER FOR ITS NORMAL OPERATION

5. IF A WINDOW IS PROVIDED FOR VENTILATION THE OPENING SHALL BE A MIN. OF 5% OF THE FLOOR AREA BEING SERVED AND NOT LESS THAN 1.5 SF.

6. WATER TEMPETURE CONTROL VALVES FOR SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER 2010 C.P.C. 418.0. THIS PROJECT SHALL USE ONLY TYPE "L" COPPER FOR WATER LINES.

7. PROVIDE SAFETY GLAZING IN WALLS OF TUB AND SHOWER ENCLOSURE WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN60" ABOVE A STANDING SURFACE & DRAINOUTLET.

8. SHOWER DIMENSION REQ'S

MIN SHOWER STALL FLOOR AREA 1024 SQIN

MIN 30" DIA CLR AREA

MIN 22" CLEAR SHWR DOOR OPENING

13. WHEN EXISTING OUTLETS ARE REMOVED FROM THEIR OUTLET BOX THE REPLACEMENT OUTLET SHALL BE GFCI PROTECTED. NON GFCI OUTLETS SHALL NOT BE RE-USED.

14. AN ELECTRICAL OUTLET SHALL BE PROVIDED WITHIN 36" OF THE OUTSIDE EDGE OF EACH BASIN WITHIN THE BATHROOM AS REQUIRED UNDER THE NATIONAL ELECTRICAL CODE (NEC) WHERE MORE THAN ONE BASIN IS PROVIDED A RECEPCTICAL OUTLETS SHALL BE PROVIDED, A RECEPCTICAL OUTLET SHALL BE PROVIDED AT EACH SEPERATE BASIN. ONE OUTLET MAY SERVE TWO BASINS PROVIDED THE OUTLET IS LOCATED BETWEEN THE TWO BASINS AND THE BASINS SHARE A COMMON COUNTERTOP.

15. RECEPCTICALS SHALL NOT BE INSTALLED WITHIN A BATHTUB OR SHOWER SPACE.

16. EA PLUMBING FIXTURE SHALL MEET THE 2019 CALIFORNIA GREEN BUILDING CODE SECTION 4.303:

- ≤ 1.28 GAL/FLUSH TOILET
- ≤ 1.8 GAL/MIN. SINGLE SHOWER HEAD @ 80 PSI
- ≤ 1.2 GAL/MIN LAVATORY FAUCETS AT 60 PSI
- ≤ 1.8 GAL/MIN KITCHEN FAUCETS AT 60 PSI
- ≤ 0.5 GAL/FLUSH URINALS

17. SHOWERS AND TUB SHOWER-TUB COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. CPC 408.3

18. WATER USAGE FOR EXISTING PLUMBING FIXTURES (CA. CIVIL CODE SEC. 1101.1-1101.8) AS A CONDITION FOR FINAL INSPECTION, EXISTING TOILETS OF GREATER THAN 1.6 GAL/FLUSH; SHOWER HEADS WITH FLOW CAPACITY OF MORE THAN 2.5 GAL/MIN; AND INTERIOR FAUCETS WITH FLOW CAPACITY OF MORE THAN 2.2 GAL/MIN WILL NEED TO BE REPLACED TO AT LEAST THE MINIMUM STANDARD INDICATED.

19. TYPE "L" COPPER TO BE INSTALLED

20.. ALL BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIENT AND CONTROLLED BY A HUMIDITY CONTROL UNLESS FUNCTIONING AS A WHOLE HOUSE VENT SYSTEM. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A REALITIVE HUMIDITY RANGE OF A GREATER OR EQUAL TO 50% TO A MAX OF 80%. THE HUMIDITY CONTROL MAY UTILIZE MANUEL OF AUTOMATIC MEANS OF ADJUSTMENT AND A HUMIDITY CONTROL MAY BE A SEPERATE COMPONET TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.

21. EA NON-COMPLIANT PLUMBING FIXTURE SHALL MEET CA. SB407 OR BE REPLACED

- 1.60 GALLONS PER FLUSH FOR TOILETS
- 2.50 GALLONS PER MINUTE FOR SHOWER HEADS
- 2.2 GALLONS PER MINUTE FOR LAVATORIES
- 2.2 GALLONS PER MINUTE FOR FAUCETS

.

15. PROVIDE ATTIC VENTS AND SHOW SIZE AND LOCATIONS ON ROOF PLAN AND ELEVATIONS IN COMPLIANCE WITH CRC R806.2.

16. HABITABLE SPACE, HALLWAYS, BATHROOMS TOILET ROOMS, LAUNDRY ROOMS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. CRC R305.1

GENERAL NOTES

1. THIS PROJECT SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE, 2022 ELECT CODE AND 2022 C.M.C., 2022 C.P.C., 2022 BUILDING ENERGY EFFICIENCY STANDARDS, 2022 GREEN BUILDING CODE MANDATORY MEASURES, VENTURA COUNTY AND OR CITY BUILDING CODE AND ADOPTING ORDINANCES

2. ALL DRAWINGS HEREIN ARE PREPARED WITH THE BEST INFORMATION AVAILABLE AT THE TIME OF PROJECT DOCUMENTATION. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF UTILITIES BEFORE STARTING CONSTRUCTION. CONTRACTOR IS TO VERIFY ALL EXISTING AND NEW DIMENSIONS BEFORE BEGINNING WORK. THESE PLANS ARE NOT TO BE SCALED. THE SCOPE OF WORK OF THIS PROJECT INCLUDES ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY FOR A COMPLETE PROJECT PER INDUSTRY STANDARDS AND AS SHOWN ON OR IMPLIED BY THE CONTRACT DOCUMENTS.

3. THE CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND SHALL BRING OMISSIONS OR CONFLICTS TO THE ATTENTION OF THE DESIGNER FOR RESOLUTION PRIOR TO THE COMMENCEMENT OFCONSTRUCTION. IN THE CASE OF CONFLICTS, IT SHALL BE ASSUMED THAT THE STRICTEST CONDITION OR REQUIREMENT HAS BEEN INCLUDED IN THE COST AND SCOPE OF x

4. PLEASE NOTE THAT AS BUILT OR EXISTING (E) CONDITIONS AS NOTED ON THESE PLANS REFLECT THE OBVIOUS BUILDING CONDITION AS BEST AS CAN BE DETERMINED BY VISUAL REVIEW. THE DESIGNER DOES NOT TAKE RESPONSIBILITY FOR THE EXISTING CONDITION OR STRUCTURES PERMITTED OR NOT PERMITTED SHOWN ON THESE PLANS.

5. DESIGNER DOES NOT TAKE RESPONSIBILITY OF CONSTRUCTION NOTED " BY SPERATE PERMIT" SHOWN ON THESE PLANS AND DETAILS.

6. ALL WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. ALLREFERENCES TO THE "CONTRACTOR" INCLUDE THE GENERAL CONTRACTOR AND ITS SUBCONTRACTORS. THECONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER ALL CONSTRUCTION MEANS,TECHNIQUES, SEQUENCES, SAFETY MEASURES, AND PROCEDURES, AND FOR COORDINATING ALL PORTIONSO F THE WORK REQUIRED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FORACTS AND OMISSIONS OF THE CONTRACTORS' EMPLOYEES, SUBCONTRACTORS, SUBCONTRACTORS' AGENTSAND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITHTHE GENERAL CONTRACTOR. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR ERRORS, OMISSIONSOR DELAYS CAUSED BY THE CONTRACTOR.

7. THE CONTRACTOR SHALL OBTAIN AND PAY FEES FOR ALL NECESSARY PERMITS, LICENSES,CERTIFICATES, AND TESTING.

8. UNLESS SPECIFIED OTHERWISE ON THESE PLANS, ALL FRAMING LUMBER SHALL BE GRADED DOUGLAS FIR-LARCH 2 OR BETTER AND ALL POSTS AND HEADERS SHALL BE GRADE DOUGLAS FIR -LARCH 2 OR BETTER. UNLESS SPECIFIED OTHERWISE, ALL WOOD CONSTRUCTION CONNECTORS ARE SIMPSON STRONGTIES OR EQUAL AND SHALL BE C.B.C. AND I.C.C. APPROVED CONNECTORS WITH DESIGN CRITERIA FOR APPLICABLE EARTHQUAKE ZONES AND LOCAL BUILDING CODES. DIMENSIONS SHOWN ARE TO FACE OF STRUCTURAL SHEATHING OR TO FACE OF STUD OR WHERE NO SHEATHING. PROVIDE 2X6 STUDS IN EXTERIOR OR BEARING PLUMBING WALLS TO PREVENT EXCESSIVE NOTCHING OR BORING

9. ALL NEW CONCRETE SHALL BE 2500 PSI AT 28 DAYS UNLESS OTHERWISE SPECIFIED.

10.. ALL TYPICAL NAILING SHALL BE PER CURRENT R602.3 (1), UNLESS OTHERWISE NOTED.

11. ALL NEW FASTENERS AND ANCHOR BOLTS IN CONTACT W/ P.T. LUMBERR SHALL BE HOT DIPPED ZINC COATED GALVANIZED STEEL.

12. EXISTING RESIDENCES - A FIRE SPRINKLER SYSTEM MAY BE REQUIRED.SEPERATE PLANS ARE TO BE SUBMITTED AND A SEPERATE PERMIT SHALL BE OBTAINED.

13. CONTRACTOR / BUILDER SHALL MAINTAIN AND BE RESPONSIBLE FOR ADEQUATE SHEATHING, SHORING, BRACING AS REQUIRED FOR EXISTING STRUCTURES, TEMPORARY STRUCTURES AND ALL PORTIONS OF WORK DURING THE CONSTRUCTION PERIOD. DUST CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR / BUILDER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIAL AND WATER FLOWING OFFSITE AND WILL TAKE ADEQUATE MEASURES TO PREVENT ANY CONTAMINATION.

14. SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECIEVE THEIR PRIMARY POWERS FROM THE BUILDINGS WIRING AND SHALL BE INTERCONNECTED SO THAT WHEN ONE ALARM IS ACTIVATED ALL ALARMS WILL ACTIVATE.

15. PROVIDE ATTIC VENTS AND SHOW SIZE AND LOCATIONS ON ROOF PLAN AND ELEVATIONS IN COMPLIANCE WITH CRC R806.2.

16. HABITABLE SPACE, HALLWAYS, BATHROOMS TOILET ROOMS, LAUNDRY ROOMS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. CRC R305.1

17. SENET BILL 407 WHICH WENT INTO EFFECT ON JANUARY 1ST 1994 REQUIRES THAT WATER CONSERVING PLUMBING FIXTURES (I.E. TOILETS, SHOWER HEADS, INTERIOR FAUCETS, ETC) BE IN PLACE PRIOR TO THE FINAL INSPECTION APPROVAL. THE CERTIFICATE OF COMPLIANCE FORM SHALL BE SIGNED BY THE OWNER AND SUBMITTED TO THE BUILDING INSPECTOR ON OR BEFORE THE FINAL INSPECTION OF THIS PROJECT.

18. SMOKE ALARMS SHALL BE TESTED AND MAINTAINED IN ACCORDENCE WITH THE MANUFACTURER'S INSTRUCTIONS. SMOKE ALARMS THAT NO LONGER FUNCTION SHALL BE REPLACED. SMOKE ALARMS INSTALLED IN ONE AND TWO FAMILY DWELLINGS SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE MARKED ON UNIT, OF IF DATE OF MANUFACTURE CANNOT BE DETERMINED.

19. CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH CA. FIRE CODE & CA. HEALTH AND SAFETY CODE SECTION 17926. CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE THER ALARMS

20. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR, THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MIN. DIMENSION OR 36" MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDING SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VETICAL IN 12 UNITS HORIZONTAL R311.3

21. DOORS OTHER THAN THE REQUIRED EGRESS DOORS SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 73/4" BELOW THE TOP OF THE THRESHOLD R311.3.2

22. IN EXISTING RESIDENCES WHERE THE TOTAL AREA OF THE CEILING COVERING IS REMOVED EXCEEDS 75% OR GREATER OF TOTAL FLOOR AREA, A FIRE SPRINKLER SYSTEM WILL BE REQUIRED. SEPERATE PLANS AREA TO BE SUBMITTED AND PERMIT OBTAINED FROM FIRE PREVENTION LOCATED IN CITY HALL, 501 POLI ST, RM 117, PH. 654-7869

23. WATER USAGE FOR EXISTING PLUMBING FIXTURES IN PRE-1994 DWELLINGS (CALIF CIVIL CODE SEC 1101.1-1101.8 AS A CONDITION FOR FINAL INSPECTION, EXISTING TOILETS OF GREATER THAN 1.6 GAL/FLUSH; SHOWER HEADS WITH FLOW CAPACITY OF MORE THAN 2.5GAL/MIN. AND INTERIOR FAUCETS WITH FLOW CAPACITY OF MORE THAN 2.2 GAL/MIN. WILL NEED TO BE REPLACED TO AT LEAST THE MINIMUM STANDARD INDICATED.

23. EXTERIOR AND INTERIOR WALL ASSEMBLIES, ALONG WITH CEILING ASSEMBLIES SHALL COMPLY WITH THE PERFORMANCE EVALUATION PER ATTACHED CFR1-PRF-01 OF SHEET 9 OF 16

24. "HERS" TESTING SHALL BE DONE PER INDICATED ON SUBMITTED PERFORMANCE EVALUATION CF1R-PRF-01. HERS CERTIFICATE OF VERIFICATIONS SHALL BE SUBMITTED TO THE CITY INSPECTOR DURING THE FINAL INSPECTION.

25. THE REQUIRED CERTIFICATES OF COMPLIANCE (CFR1), CERTIFICATES OF INSTALLATION (CF2R), AND THE CERTIFICATES OF VERIFICATION (CF3R) SHALL BE SUBMITTED TO THE CITY BUILDING INSPECTOR DURING THE FINAL INSPECTION.

26. FOR ROOM ADDITIONS OF 700SF OR LESS, INSULATE CEILING WITH R-30 INSULATION. INSULATE WALLS WITH R-13 INSULATION AND INSULATE RAISED FLOOR WITH R-19 INSULATION.

27. AT LEAST ONE LUMINARIES IN EACH BATHROOM SHALL BE HIGH EFFICACY LUMINARIES SUCH AS PIN-BASED LINEAR OR COMPACT FLUORESCENT LAMPS, PULSE START METAL HALIDE LAMPS, HIGH PRESSURE SODIUM LAMPS, GU-24 SOCEIT RATED LED OR COMPACT FLUORESCENT OR OTHER LIGHTING ACCEPTABLE TO THE CEC. SCREW BASED LED OR FLUORESCENT LAMPS ARE NOT ACCEPTABLE. ALL OTHER LUMINARIES MUST BE HIGH EFFICANCY OR CONTROL BY VACANCY SENSORS.

28. ALL LIGHTS RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO CLEARENCE INSULATION COVER (IC) AND ARE CERTIFIED AIRTIGHT TO ASTM E283 AND LABLED AS AIR TIGHT (AT) TO LESS THEN 2.0 CFM AT 75 PASCALS.

29. ALL BRACH CIRCUITS THAT SUPPLY 120- VOLT, SINGLE PHASE, 15 - AND 20 - AMPRE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT CEC 210.12(B)

NOTE:
IF THE WORK AUTHORIZED ON THESE PLANS DOES NOT RECIEVE A FINAL INSPECTION APPROVAL WITHIN 3 YEARS FROM THE DATE OF THE PERMIT WAS ISSUED THE PERMIT WILL EXPIRE BY TIME LIMITATION AND WILL BECOME NULL ANDVOID

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BUILDING INFORMATION

BUILDING CODE DATA

COUNTY OF VENTURA
2022 CALIF. BUILDING CODE
2022 CALIF. RESIDENTIAL CODE
2022 CALIF. ELECTRICAL CODE
2022 CALIF. MECHANICAL CODE
2022 CALIF. PLUMBING CODE
2022 CALIF. ENERGY CODE
2022 CALIF. FIRE CODE
2022 CALIF. GREEN BUILDING CODE
TITLE 24, PART 2, C00R
ALL OTHER APPLICABLE LOCAL AND STATE CODES

PROJECT DESCRIPTION

CONSTRUCTION OF A NEW A.D.U. NEW GAS METER,PANELS. MECHANICAL & ELECTRICAL WORK (ALL ELECTRIC MECHANICAL & APPLIANCES)

BUILDING AND SAFETY:

APN: 017-0-132-140

LOT AREA: 7,125 SF
RESIDENCE: 1,223 SF
GARAGE : 480 SF
NEW ADU 748 SF
TOTAL 2,431 SF

CITY ZONING R-1

CONVENTIONAL WOOD FRAME TYPE V-B
R-3 OCCUPANCY CLASSIFICATION

DEFERRED SUBMITTAL:

1. SOLAR PANEL SUBMITTAL: SOLAR PANELS ARE REQUIRED FOR THIS PROJECT

SHEET INDEX

A 1.00 TITLE SHEET GENERAL NOTES

A 1.01 SITE PLAN,PROPOSED FLOOR, SCHEDULES

A 2.00 PROPOSED ROOF PLAN, ELEVATIONS SECTION

A 2.01 PROPOSED ELECTRICAL PLAN, MECHANICAL INFO, PLUMBING INFO

T-24 ENERGY CALCULATIONS

S 0.0 STRUCTURAL TITLE SHEET, GENERAL DETAILS

S 0.1 STRUCTURAL TYPICAL DETAILS

S 0.2 STRUCTURAL TYPICAL DETAILS

S 1.0 STRUCTURAL PLANS

S 2.0 STRUCTURAL DETAILS

PROJECT DIRECTORY

DESIGNER:

MATHEW HUNTINGTON
HUNTINGTON DESIGNS LLC
2205 SUNSET DRIVE
805-258-6507

STRUCTURAL:

EDUARDO ZARATE P.E.
EZ STUDIO INC.
2390 C. LAS POSAS RD. #258
CAMARILLO, CA 93010
(805) 469-9941

OWNER:

JOJAI CA

TITLE 24:

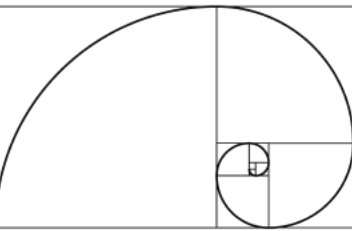
DAVID INGER
INGER ASSOCIATES
620 CHELHAM WAY
SANTA BARBARA CA 93108
(805) 969-1881 (OFFICE)



MATTHEW HUNTINGTON
2205 SUNSET DRIVE
VENTURA CA 93001
805.258.6507

FOR:
JOHNNY PARK
805-535-3085
11000 OJAI
SANTA PAULA ROAD
Ojai Ca

165 ALVARADO AVE
OJAI CA
NEW A.D.U.
93023



CONSULTANT



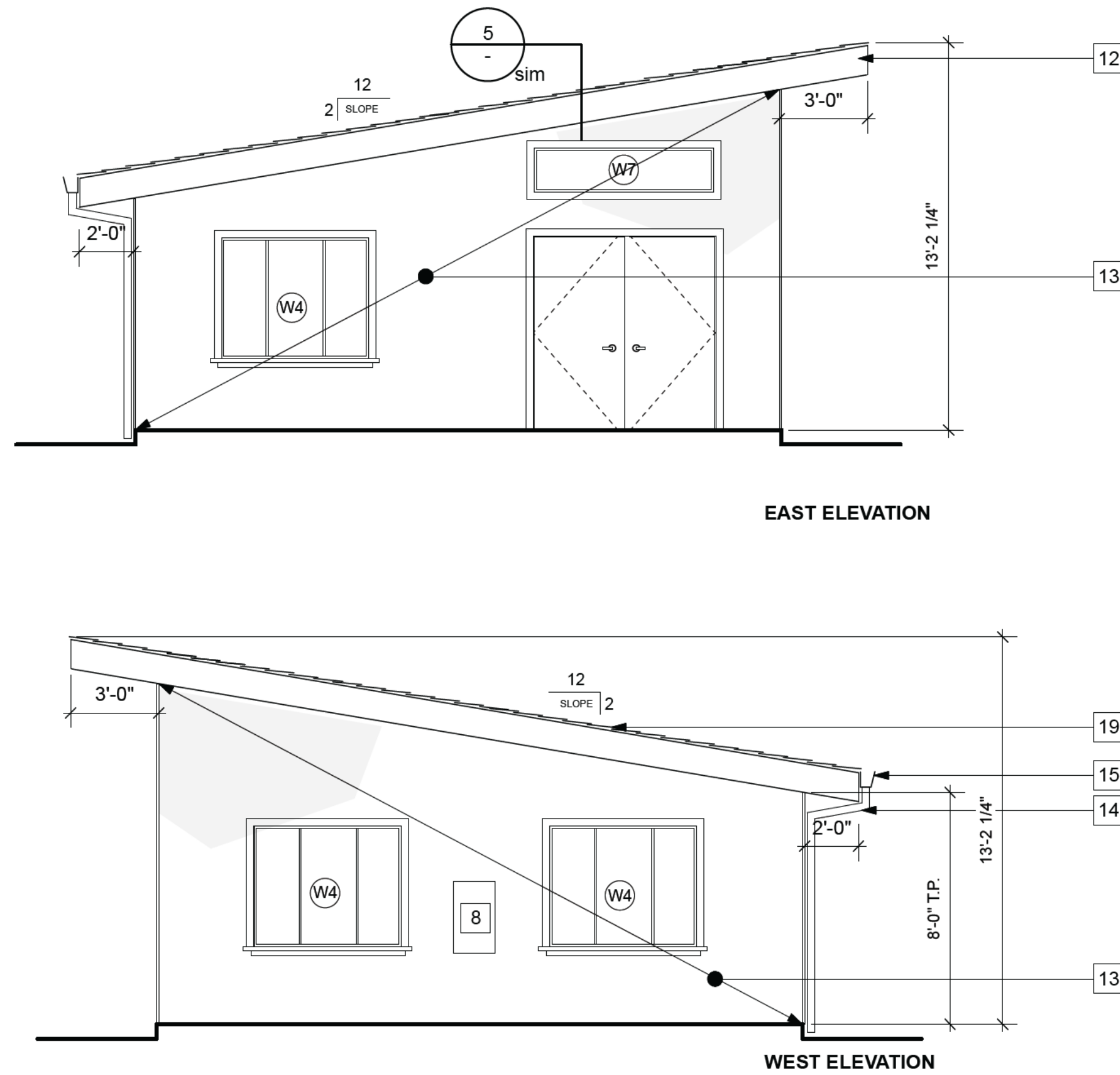
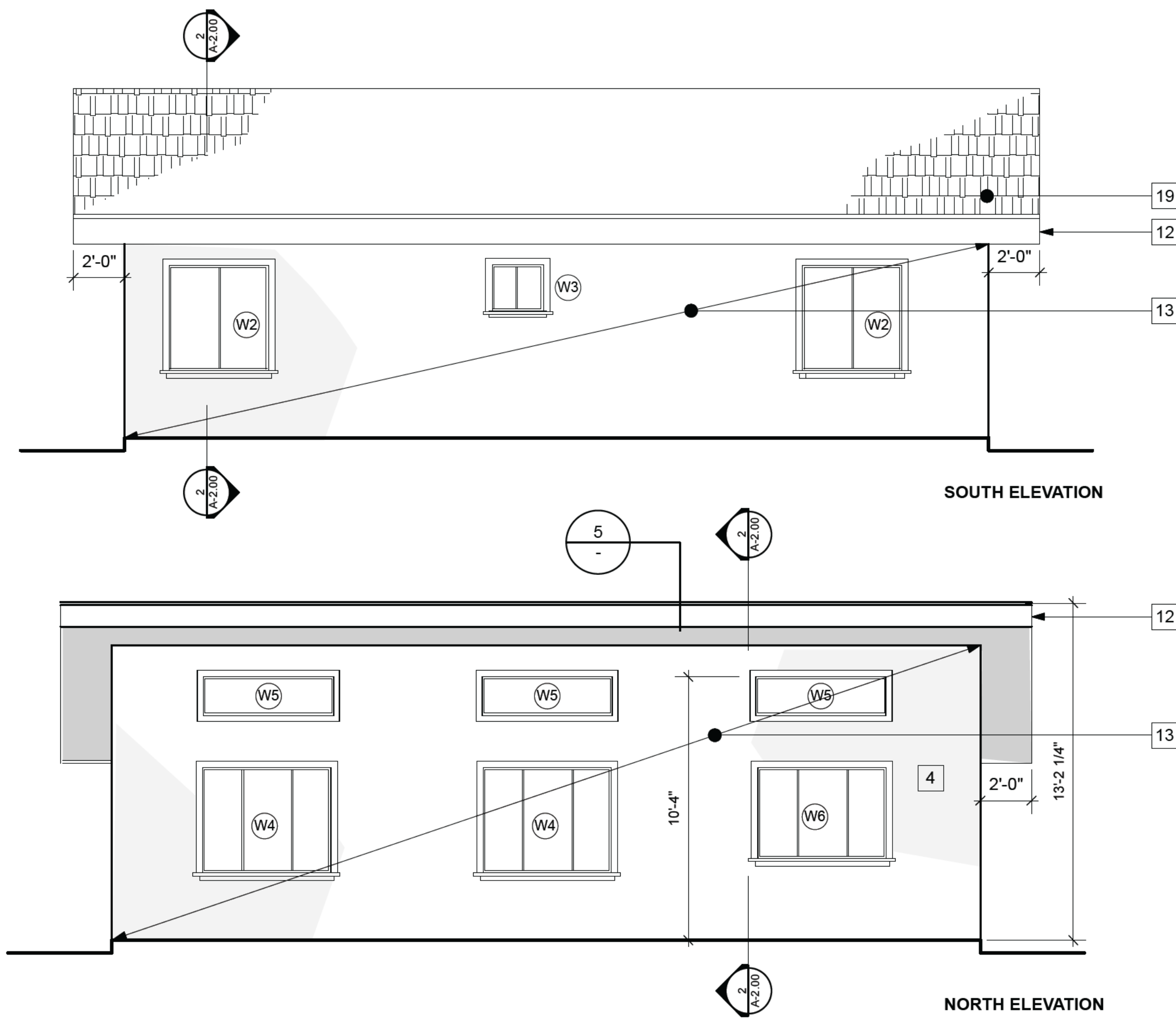
DATE

NO.

TITLE SHEET, NOTES

DRAWING NUMBER:

A-1.00



1 PROPOSED ELEVATIONS
1/4"=1'-0"

SCHEDULE

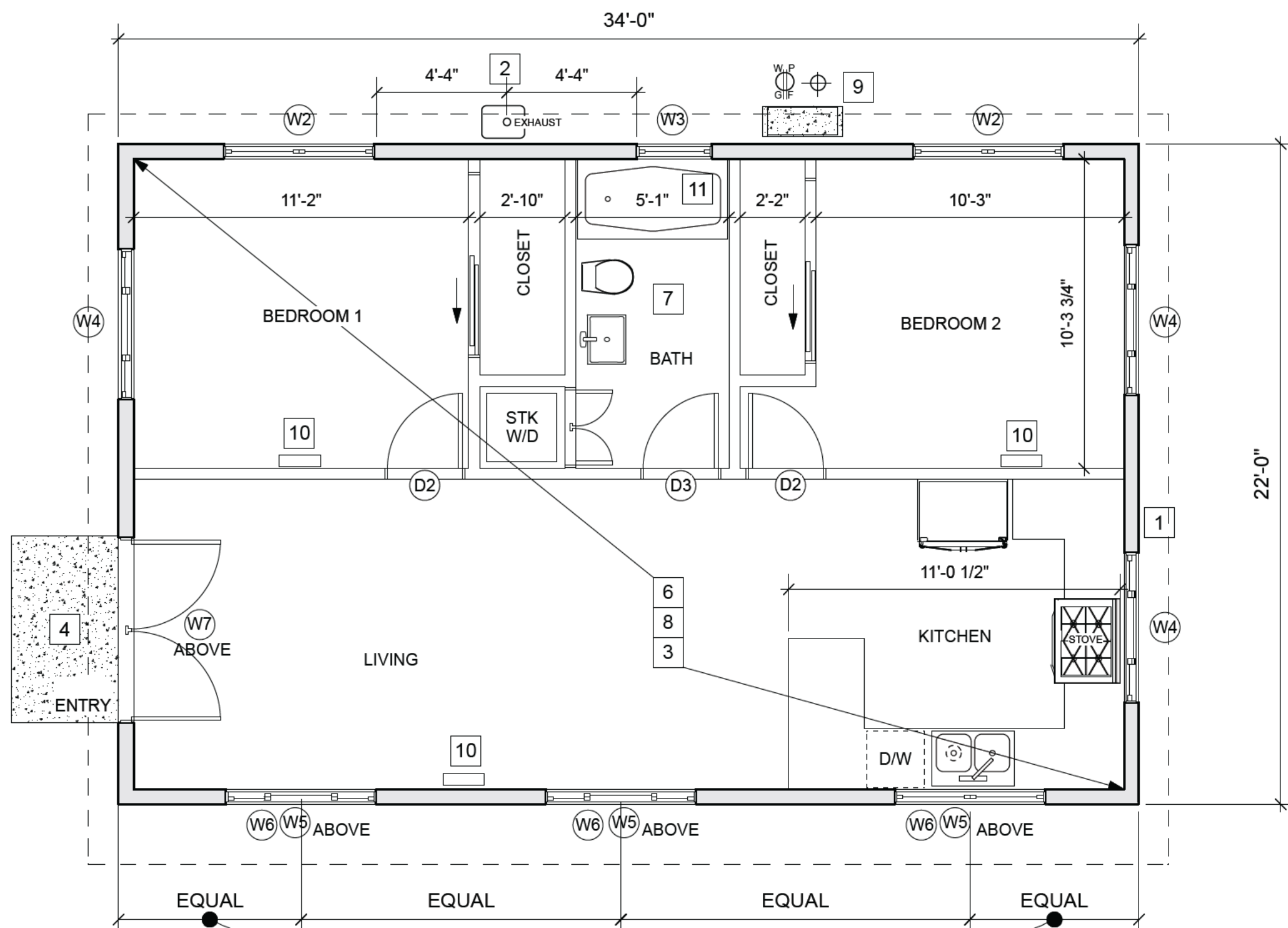
DOORS	DOOR SCHEDULE					
	DOOR NUMBER	DOOR TYPE	SIZE (WIDTH X HEIGHT)	MATERIAL	FINISH	THICKNESS
	D1	SWING	6/0 X 6/8	WOOD	1	1 3/4"
	D2	SWING	2/6 X 6/8	WOOD	1	1 3/4"
	D3	SWING	2/6 X 6/8	WOOD	1	1 3/4"
WINDOWS	WINDOW SCHEDULE				NOTES	
	WINDOW TYPE	SIZE (WIDTH X HEIGHT)	OPERABLE TYPE	NOTES		
	W1	36" X 36"	SLIDER	TEMPERED		
	W2	60" X 60"	SLIDER	EGRESS		
	W3	36" X 24"	SLIDER			
	W4	60" X 60"	SLIDER			
	W5	60" X 24"	FIXED			
	W6	60" X 42"	SLIDER			
	W7	72" X 24"	FIXED			

- GLASS SHALL BE TEMPERED WHERE NOTED ABOVE.
- ALL GLAZING SHALL COMPLY WITH CBC 2406, TABLE 24-A ANGRAPH 24-1
- SKYLIGHT GLAZING SHALL HAVE A U-VALUE OF 0.84 AND SHGC OF 0.73 (OR BETTER.)
- ALL GLASS TO BE "LOW-E" TYPE & MEET: SHGC .30 U-FACTOR .35

TYP DOOR & WINDOW NOTES:

- PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM BASEMENT AND OR SLEEPING ROOM(S) AND HABITABLE ATTICS. NET CLEAR WINDOW OPENING AREA SHALL NOT BE LESS THAN 5.7 SQUARE FEET (EXCEPT AT GRADE FLOOR OPENING SHALL BE MIN. 5.0 SF. MINIMUM NET WINDOW OPENING HEIGHT DIMENSION, 24" CLR, MIN. NET OPENING WIDTH DIM. 20" CLEAR. FINISHED SILL HEIGHT MAX. 44" ABOVE FLOOR. THE EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE OPERATIONAL FROM INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COPLYING WITH THE ASTM F2090 SHALL BE PERMITTED. CRC R310
- PROVIDE TEMPERED GLASS IN GLAZED OPENINGS:
 - WHERE LOCATED CLOSER THAN 18 INCHES ABOVE A WALKING SURFACE.
 - WHERE PANES ARE GREATER THAN 9 SQUARE FEET.
 - WHERE AN EXPOSED EDGE IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - WHERE THE WALKING SURFACE IS WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
- ALL SHOWER GLASS DOORS SHALL BE TEMPERED GLASS.
- GLAZING IN ANY PORTION OF AN ENCLOSED SHOWER OR TUB WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE OR DRAIN INLET SHALL BE TEMPERED GLASS. ALSO APPLIES TO A WINDOW IN SHOWER/TUBS.
- ALL WINDOW AND DOOR SIZES, OPERATION, HINGING ETC TO BE FIELD VERIFIED WITH OWNER
- EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED IN SECTION R308.4 SHALL BE PROVIDED WITH A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, DESIGNATING THE TYPE OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, WHICH IS VISIBLE IN THE FINAL INSTALLATION. THE DESIGNATION SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC FIRED, LASER ETCHED, EMBOSSED OR BE OF A TYPE THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED. 2016 CRC R308.1*
- *THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHAL

3 SCHEDULE / NOTES
NTS



WALL LEGEND

- A PROPOSED 2X4 INTERIOR WALL
STUDS 16" O.C., 1/2" GYP. BD.
- B PROPOSED 2X4 INTERIOR INFILL WALL 5/8" GYP. BD
W/ R-13 INSULATION
- B PROPOSED 2X4 EXTERIOR INFILL WALL 5/8" GYP. BD
W/ R-13 INSULATION, STUCCO TO MATCH (E)

NOTE:
ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION SHALL BE PERMITTED TO CUT OR NOTCH TO A DEPTH OF 25% OF ITS WIDTH. STUDS IN NONBEARING MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. CRC SEC. R602.6
STUDS LOCATED IN EXTERIOR WALLS OR PARTITIONS DRILLED OVER 40% AND UP TO 60% SHALL BE DOUBLED WITH NOT MORE THAN TWO SUCCESSIVE DOUBLED STUDS BORED.CRC SEC.R602.6
BORED HOLES NOT GREATER THAN 40 PERCENT OF THE STUD WIDTH ARE PERMITTED TO BE BORED IN ANY WOOD STUD. BORED HOLES NOT GREATER THAN 60 PERCENT OF THE STUD WIDTH ARE PERMITTED IN NONBEARING PARTITIONS OR IN ANY WALL WHERE EACH BORED STUD IS DOUBLED. PROVIDED NOT MORE THAN TWO SUCH SUCCESSIVE DOUBLED STUDS ARE SO BORED. IN NO CASE SHALL THE EDGE OF A BORED HOLE BE NEARER THAN 5/8 INCH (15.9 MM) TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH. PLUMBING WALLS SHALL BE A MINIMUM OF 2X6 FRAMING CBC SEC. 2308.5.10

2 PROPOSED ADU FLOOR PLAN
1/4"=1'-0"

KEYNOTE LEGEND

- (E) RESIDENCE 100 AMP SERVICE (REF.)
- NAVIEN: NPE-180S WATER HEATER
SEE A-1.00 "CUT SHEETS" NOTE:PROVIDE ISOLATION VALVES AT HOT & COLD WATER SUPPLY AND HOT WATER LEAVING UNIT. INC. HOSE BIBS AT EACH VALVE FOR FLUSHING. PROVIDE CONDENSATE DRAIN 2" MAX HIGHER THAN BASE ON WH. TO ALLOW NATURAL DRAINING
- NEW SLAB - SEE STRUCTURAL-VAPOR BARRIOR EQUAL TO STO GUARD VAPORSEAL R- ESR #1233
- CONCRETE LANDING
- DOOR TO BE 20 MINUTE RATED, 1 3/8" THICK, TIGHT FITTING, SELF-CLOSING AND SELF LATCHING SOLID CORE WOOD DOOR.
- CEILING TO BE 5/8" TYPE "X" GYP. BD
- PROVIDE 24" IN FRONT OF TOILET PROVIDE 30" WIDTH
- CEILING TO BE VAULTED, UNVENTED
- (N) CONDENSER 208/230 V 1-PHASE (PER MFR. REQ'S) PROVIDE 32"X12 CONCRETE PAD MIN. 36" FROM PL
- WALL MOUNTED EVAPORATOR UNIT W/ THERMOSTATE
- TUB W CURTAIN
- 2X WOOD FACIA - PAINT
- 7/8" PORTLAND CEMENT PLASTER PAPER BACKED LATH W/ 16GA STAPLES @16" O.C. COLOR: LAHABRA : NAVAJO WHITE P-525
- DOWN SPOUT TO SPLASH BLOCK
- GALV GUTTER, PAINT
- RAISED ADDRESS NUMBERS SEE FIRE NOTES T-1.00
- 100 AMP ELEC. SERVICE (2)
- EXTERIOR LIGHT
- ASPHALT SHINGLES TO BE CLASS A ROOFING AND BE EQUAL TO CERTAINTED ASPHALT SHINGLE ICC REPORT # ESR-1389

FLOOR PLAN NOTES

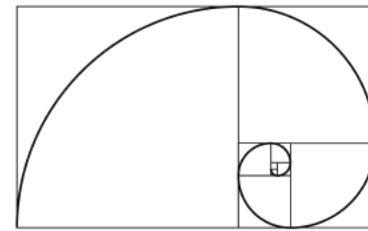
- PROVIDE WATER RESISTANT BACKING BOARD IN ALL WET (TILE) LOCATIONS.
- FLOOR FINISHES TO BE TILE WALL FINISHES TO BE TILE WAINSCOT WITH GYP. BD ABOVE
- FOR ALL BATHROOM INFORMATION SEE "BATHROOM NOTES" TITLE PAGE.
- THE ADDRESS SHALL BE VISIBLE FROM THE STREET
- INTERIOR WALLS AND CEILING TO BE FINISHED IN 5/8" TYPE "X" GYP BD
- AS A CONDITION FOR FINAL INSPECTION, EXISTING TOILETS OF GREATER THAN 1.6 GAL/FLUSH, SHOWER HEADS WITH FLOW CAPACITY OF MORE THEN 2.5 GAL/MIN. AND INTERIOR FAUCETS WITH FLOW CAPACITY OF MORE THAN 2.2 GAL/MIN. WILL NEED TO BE REPLACED TO AT LEAST MINIMUM STANDARD INDICATED
- FOR WATER HEATER AND WALL HEATER INFORMATION SEE 1&2/A-3.00
- WALL INSULATION: R-15 (3.5") HIGH DENSITY BATTS.
- CEILING INSULATION: (N) R-26 (4") POLYISO RIGID BOARD INSULATION (DOW THERMAX)
- GLASS AT SHOWER ENCLOSURE TO BE TEMPERED.
- DOOR TO BE 20 MINUTE RATED, 1 3/8" THICK, TIGHT FITTING, SELF-CLOSING AND SELF LATCHING SOLID CORE WOOD DOOR.



MATTHEW HUNTINGTON
2205 SUNSET DRIVE
VENTURA CA 93001
805.258.6507

FOR:
805-535-3085
Ojai Ca

165 ALVARADO AVE
OJAI CA
NEW A.D.U.
93023



CONSULTANT

BLDG DEPT 4-11-22
BLDG DEPT 7-5-22
SITE REVISION 7-20-22

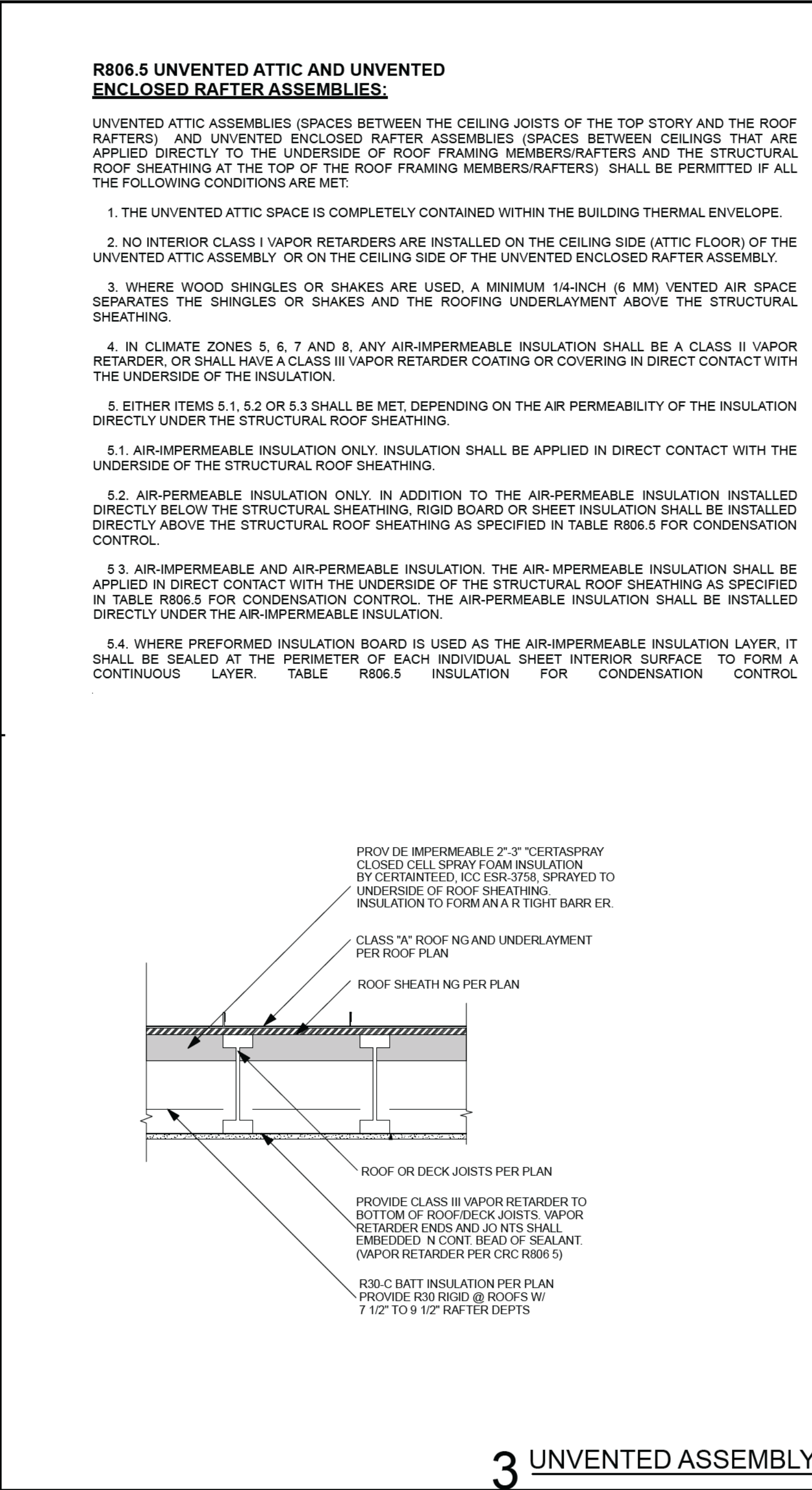
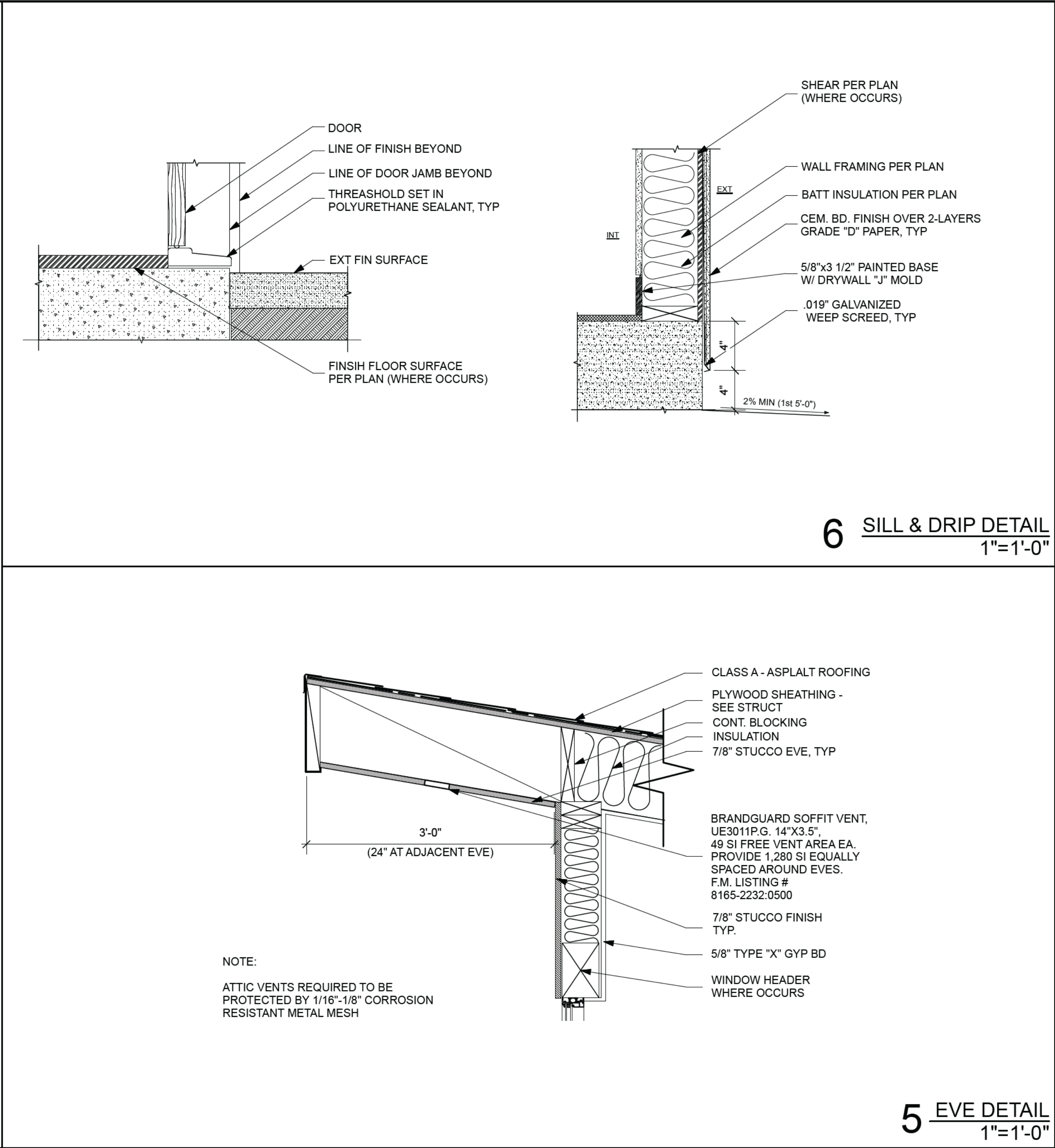
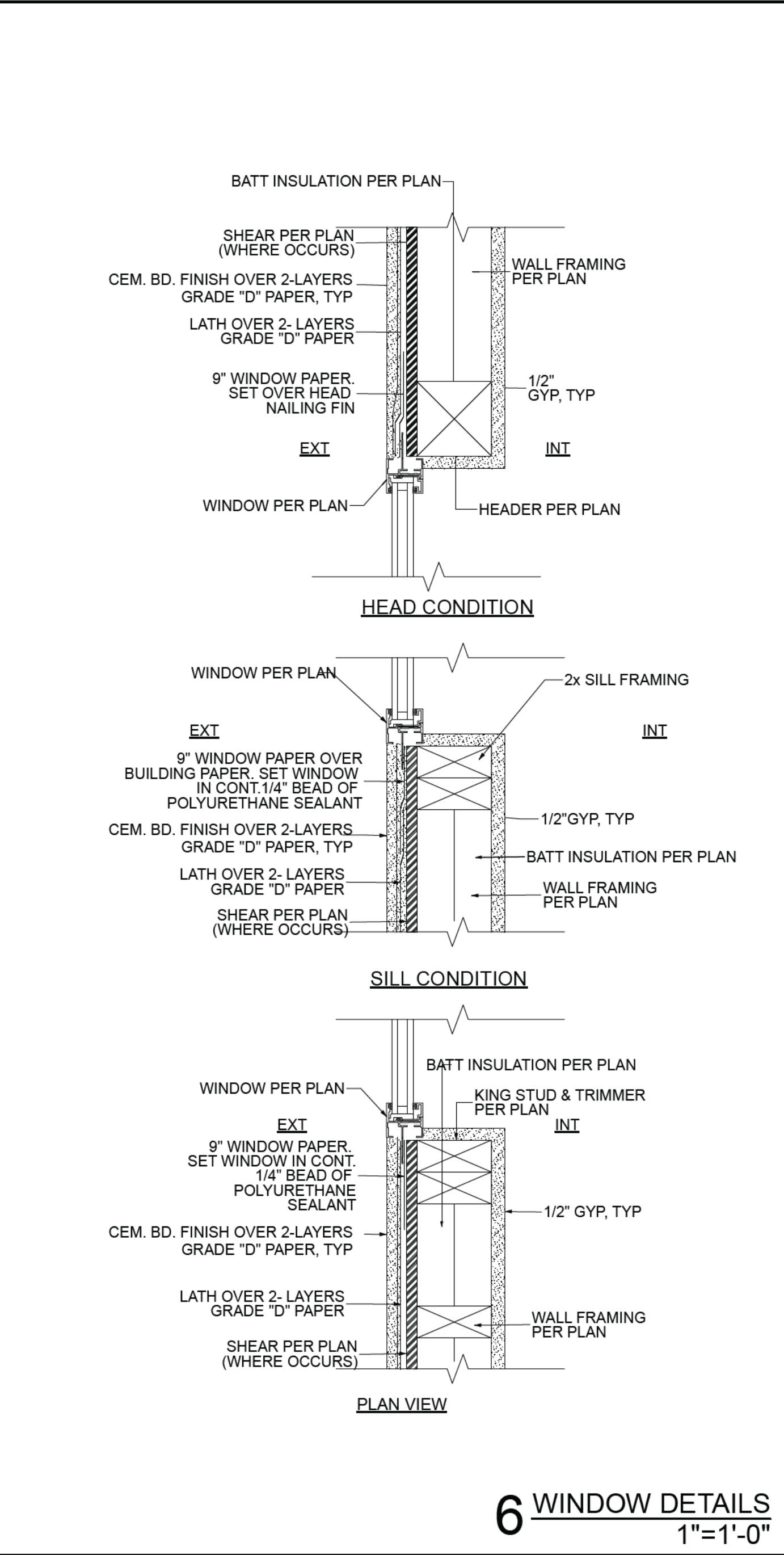
DATE

NO.

SITE PLAN

DRAWING NUMBER:

A-1.01



ELEVATION NOTES

1. PROVIDE CONTINUOUS SHEATHING FOR A SMOOTH AND LEVEL WALL SURFACE WITH THE APPLICATION OF STUCCO
2. PROVIDE 1SF VENTING PER 150SF FOR NON-VAULTED ROOF AREAS ATTIC VENTS TO BE PROTECTED BY 1/16"-1/8" CORROSION RESISTANT MATERIAL MESH.
3. ALL ROOF PITCH'S AND ROOF HEIGHTS TO BE VERIFIED TO NOT EXCEED HILLSIDE HEIGHT RESTRICTIONS MAXIMUM HEIGHTS OR HEIGHTS AS SHOWN.
4. ALL FINISHES TO MATCH (E) RESIDENCE INCLUDING STUCCO, WINDOWS & ROOFING MATERIAL

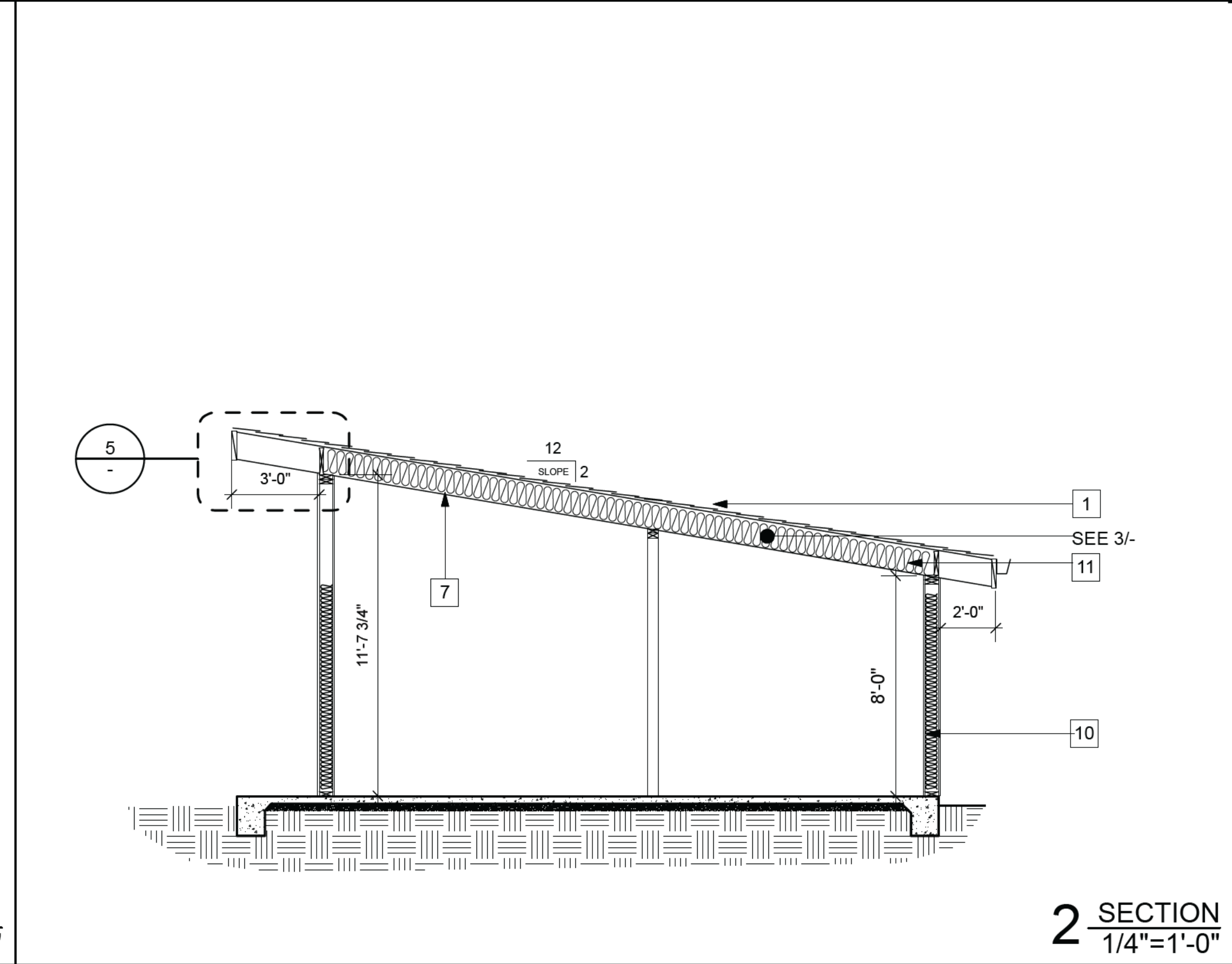
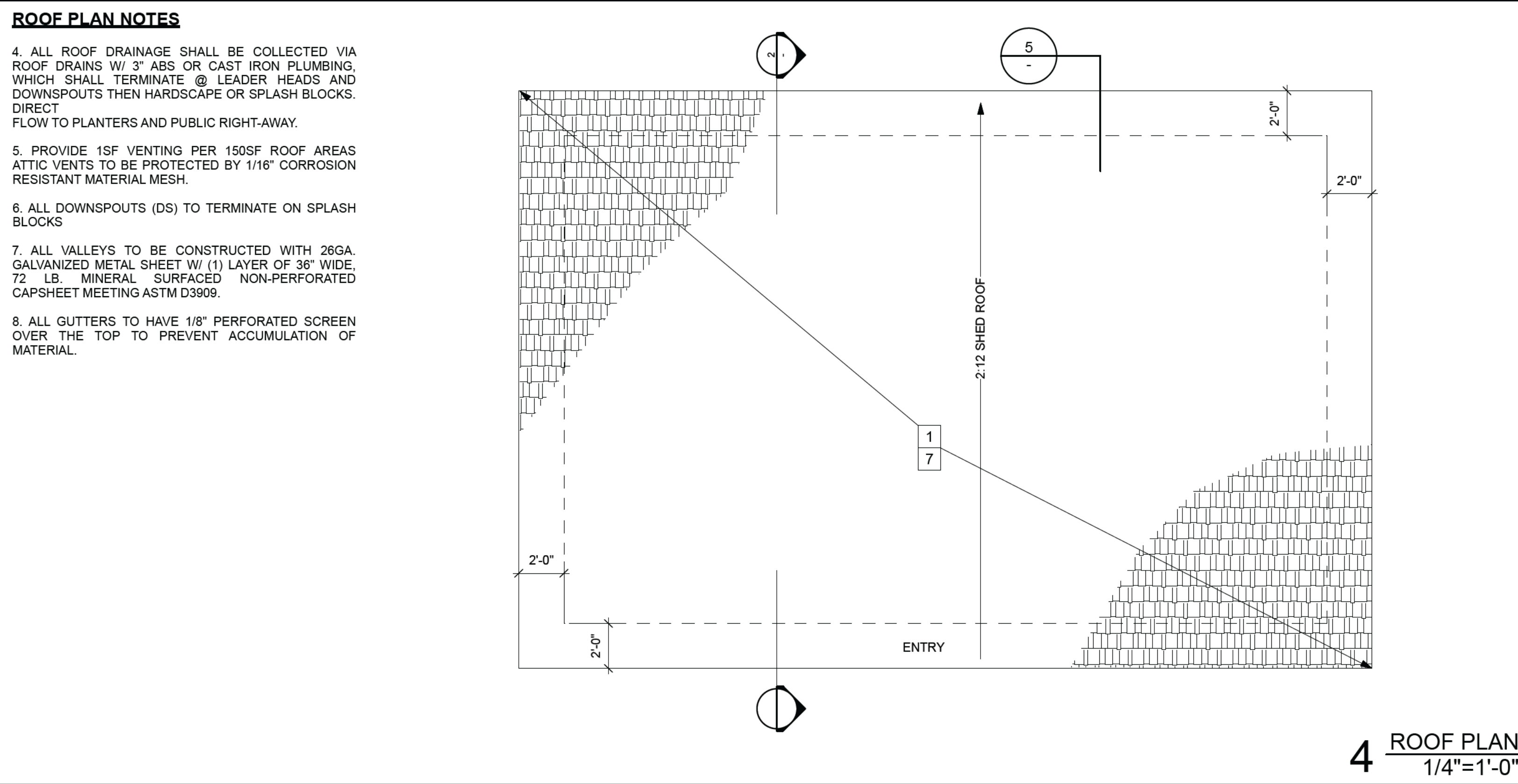
ROOF PLAN NOTES

4. ALL ROOF DRAINAGE SHALL BE COLLECTED VIA ROOF DRAINS W/ 3" ABS OR CAST IRON PLUMBING, WHICH SHALL TERMINATE @ LEADER HEADS AND DOWNSPOUTS THEN HARDSCAPE OR SPLASH BLOCKS. DIRECT FLOW TO PLANTERS AND PUBLIC RIGHT-AWAY.
5. PROVIDE 1SF VENTING PER 150SF ROOF AREAS ATTIC VENTS TO BE PROTECTED BY 1/16" CORROSION RESISTANT MATERIAL MESH.
6. ALL DOWNSPOUTS (DS) TO TERMINATE ON SPLASH BLOCKS
7. ALL VALLEYS TO BE CONSTRUCTED WITH 26GA. GALVANIZED METAL SHEET W/ (1) LAYER OF 36" WIDE, 72 LB. MINERAL SURFACED NON-PERFORATED CAPSHEET MEETING ASTM D3909.
8. ALL GUTTERS TO HAVE 1/8" PERFORATED SCREEN OVER THE TOP TO PREVENT ACCUMULATION OF MATERIAL.

KEYNOTE LEGEND

ASPHALT SHINGLES TO BE CLASS A ROOFING AND BE EQUAL TO CERTAINTED ASPHALT SHINGLE ICC REPORT # ESR-1389

- 1 2X WOOD FACIA - PAINT
- 2 7/8" PORTLAND CEMENT PLASTER PAPER BACKED LATH W/ 16GA STAPLES @16" O.C. COLOR: LAHABRA : NAVAJO WHITE P-525
- 3 EXTERIOR LIGHT
- 4 DOWN SPOUT TO SPLASH BLOCK
- 5 GALV GUTTER, PAINT
- 6 VAULTED / UNVENTED CEILING
- 7 100 AMP ELEC. SERVICE (2)
- 8 RAISED ADDRESS NUMBERS SEE FIRE NOTES T-1.00
- 9 R-15 WALL INSULATION
- 10 R-30 ROOF INSULATION
- 11



HUNTINGTON

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FOR: **Ojai Ca**

165 ALVARADO AVE
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DATE

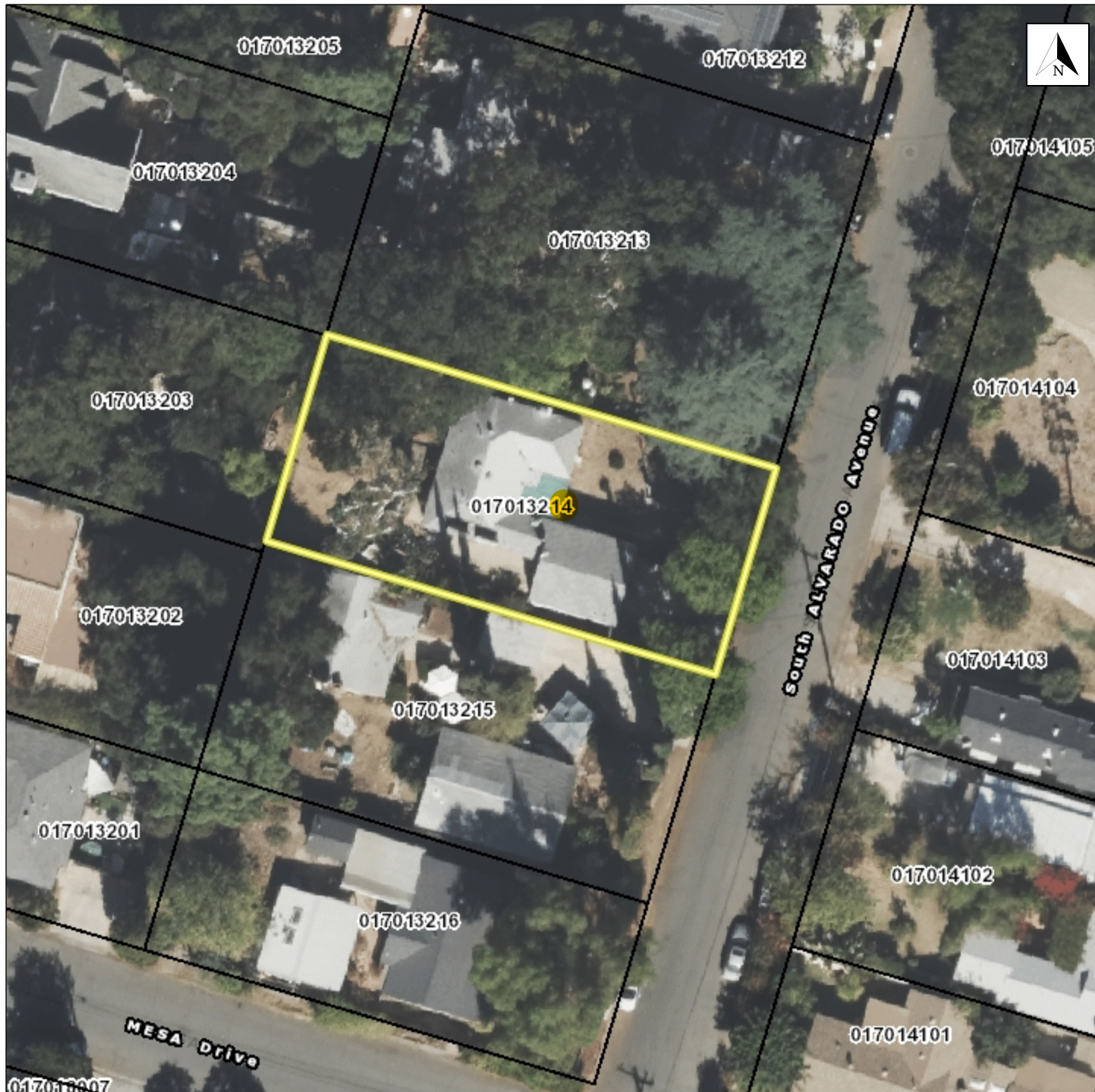
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FLOOR PLAN
ROOF PLAN
SCHEDULES

DRAWING NUMBER:

A-2.00

Page 7 of 12



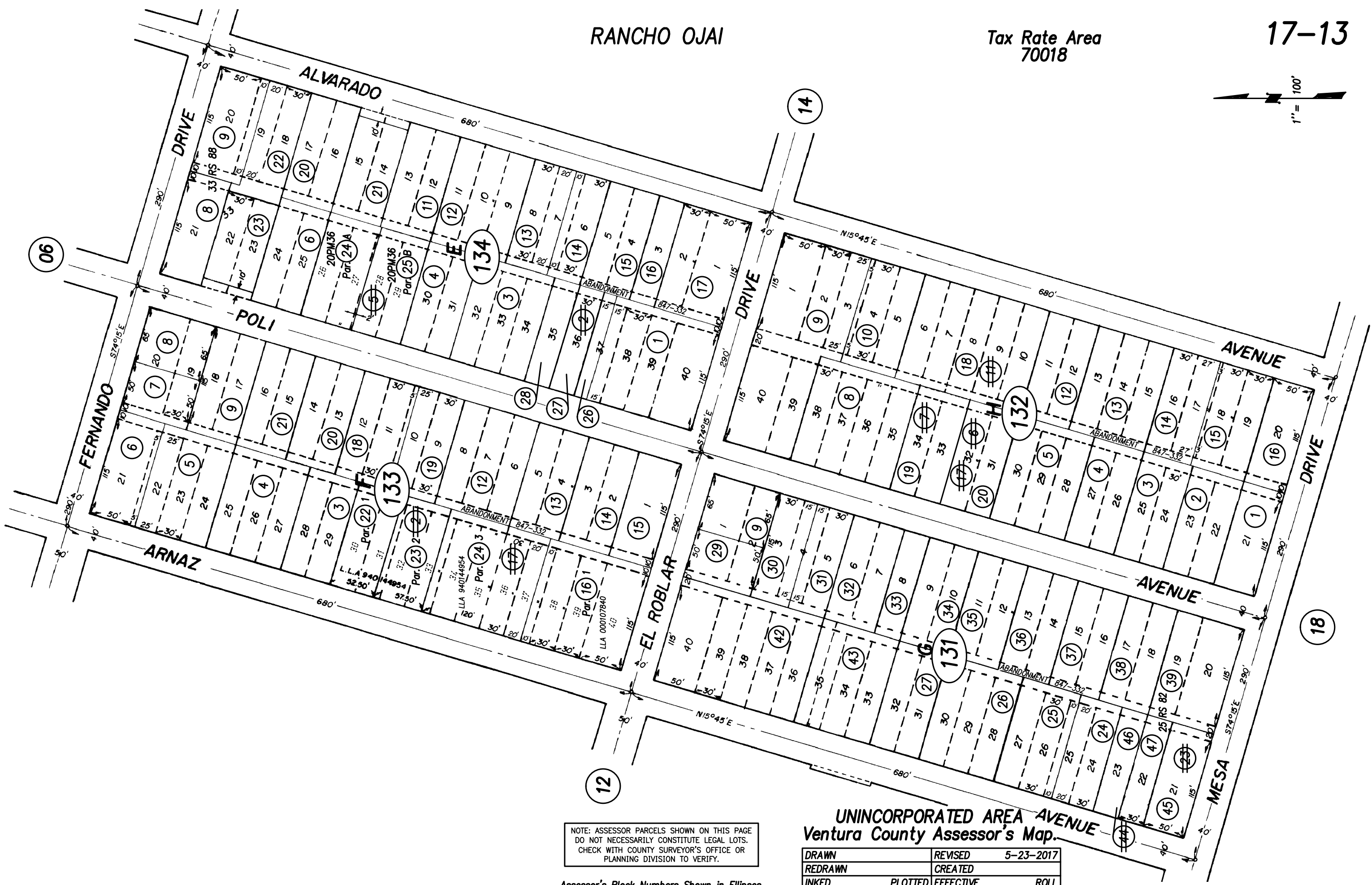
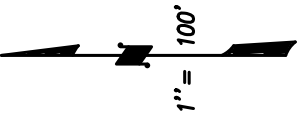
Legend

- Miscellaneous Records
- Parcel Maps
- Records of Survey
- Parcels

0 47.02 Distance Feet

1: 564

Disclaimer: The information contained on this web site and in this application was created by the Ventura County Geographical Information System (GIS), which is designed and operated solely for the convenience of the County and related contract entities. The County does not warrant the accuracy of this information, and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.







NOTE: ASSESSOR PARCELS SHOWN ON THIS PAGE
DO NOT NECESSARILY CONSTITUTE LEGAL LOTS.
CHECK WITH COUNTY SURVEYOR'S OFFICE OR
PLANNING DIVISION TO VERIFY.

Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.
Assessor's Mineral Numbers Shown in Squares.

UNINCORPORATED AREA AVENUE
Ventura County Assessor's Map.

DRAWN	REVISED	5-23-2017
REDRAWN	CREATED	
INKED	PLOTTED	EFFECTIVE
PREVIOUS Bk., Portion Pg.		
Compiled By Ventura County Assessor's Office		

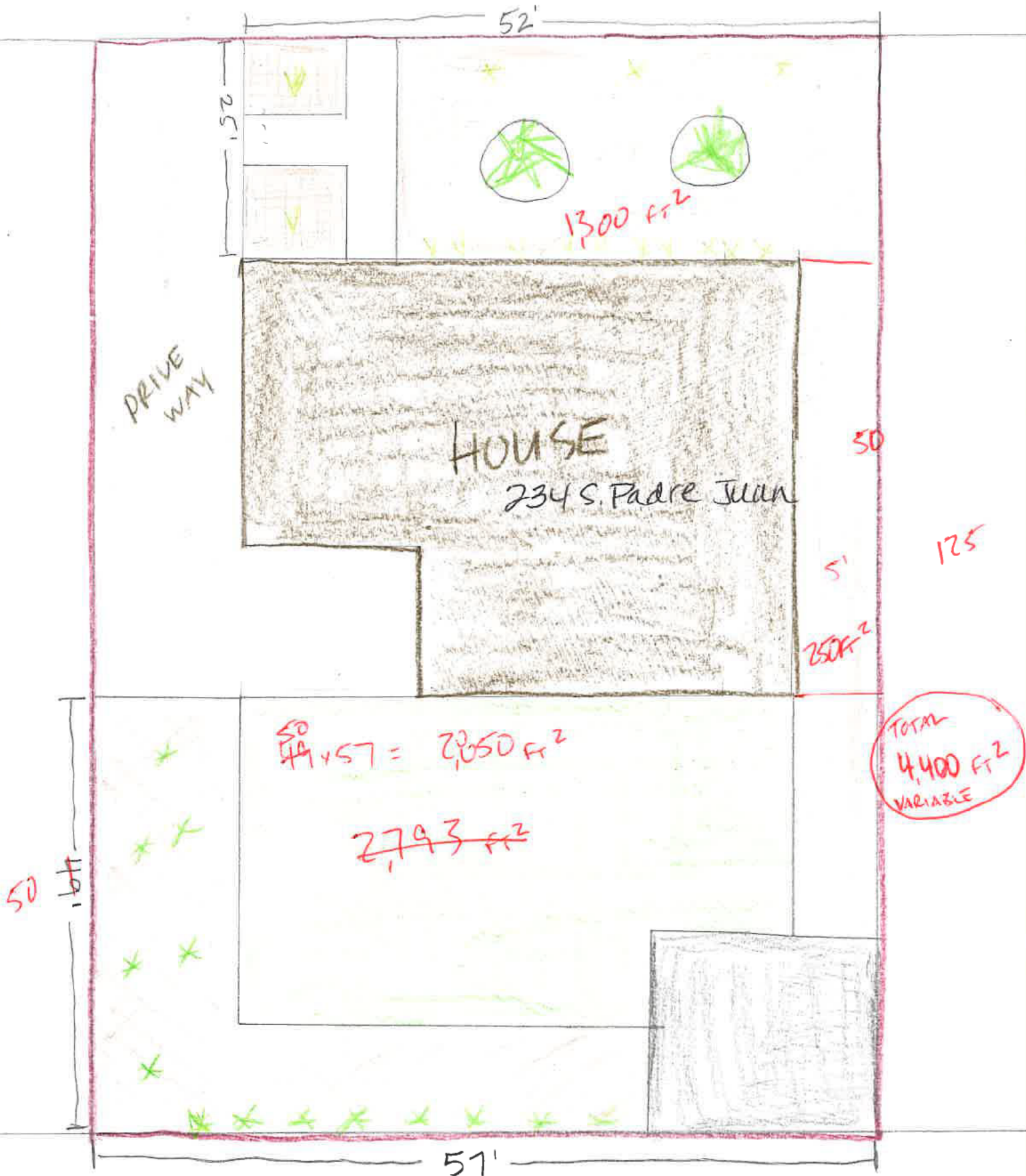
Roll-Year 17-18		BK. 017 , PG. 13		REVISION LOG	
DATE	REFERENCE DOC.	EXPLANATION		VOID A.P.N.(s)	RESIDUAL A.P.N.(s)
		Code	Description		
5/23/2017	20160307-00030927	CC 15-07-996		017-0-134-020	017-0-134-260
					017-0-134-270 & 280

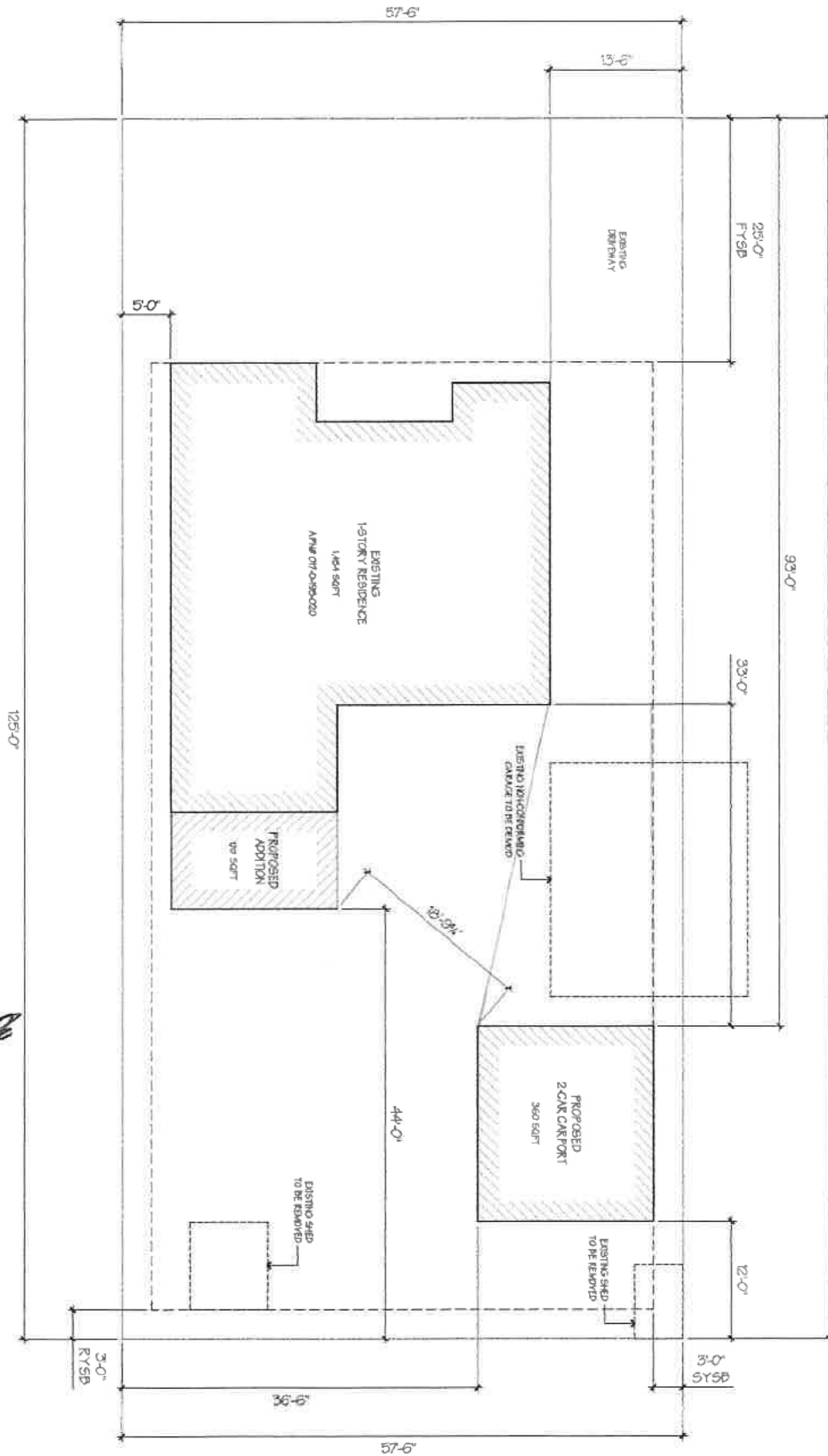
	APN	Parcel_Area	F1_Imperv	F2_Pool	F3_IrrgVeg	F4_Irrg_TurfLawn	F5_NL	F6A_NotIrrg_TurfLawn	F6B_NotIrrg_Misc	F6C_NotIrrg_Veg	F7_ArtificialTurf	F8_AnimalArena	F10_Agriculture
234 S PADRE JUAN	17019503	7194	5116	0	0	0	0	507	1472	99	0	0	0
Post Construction													
Revised Variable		4400	sqft										
		66000	gal										
			66000	88	units/yr								
246 S PADRE JUAN	17019502	7189	3491	0	0	177	0	2797	0	724	0	0	0
Post Construction													
Revised Variable		6421	sqft										
		75000	gal										
	1421	14210	gal										
		89210	total gal	119	units/yr								
Historical Allocation Information													
Original Database													
2 Dwellings - 1 meter	Fixed	10	units/mo										
2 Parcels	Variable	245	units/yr										
Adjusted for Dwellings	Fixed	14	(each dwelling 7 units/month)										
	Variable	111											
					Post Construction Recommended Allocations								
Adjusted for 2 Primary	Fixed 1	10	units/mo		10 units/mo								
Will Serve Letter	Fixed 2	10	units/mo		10 units/mo								
	Variable 1	60	units/yr		88 units/yr								
	Variable 2	60	units/yr		119 units/yr								

234 S. PADRE JUAN

STREET

Michael [REDACTED]





246 S. Padre Juan

6,421 FT²
VARIABLE

[Signature]

SITE PLAN
SCALE: 1/4" = 1'-0"